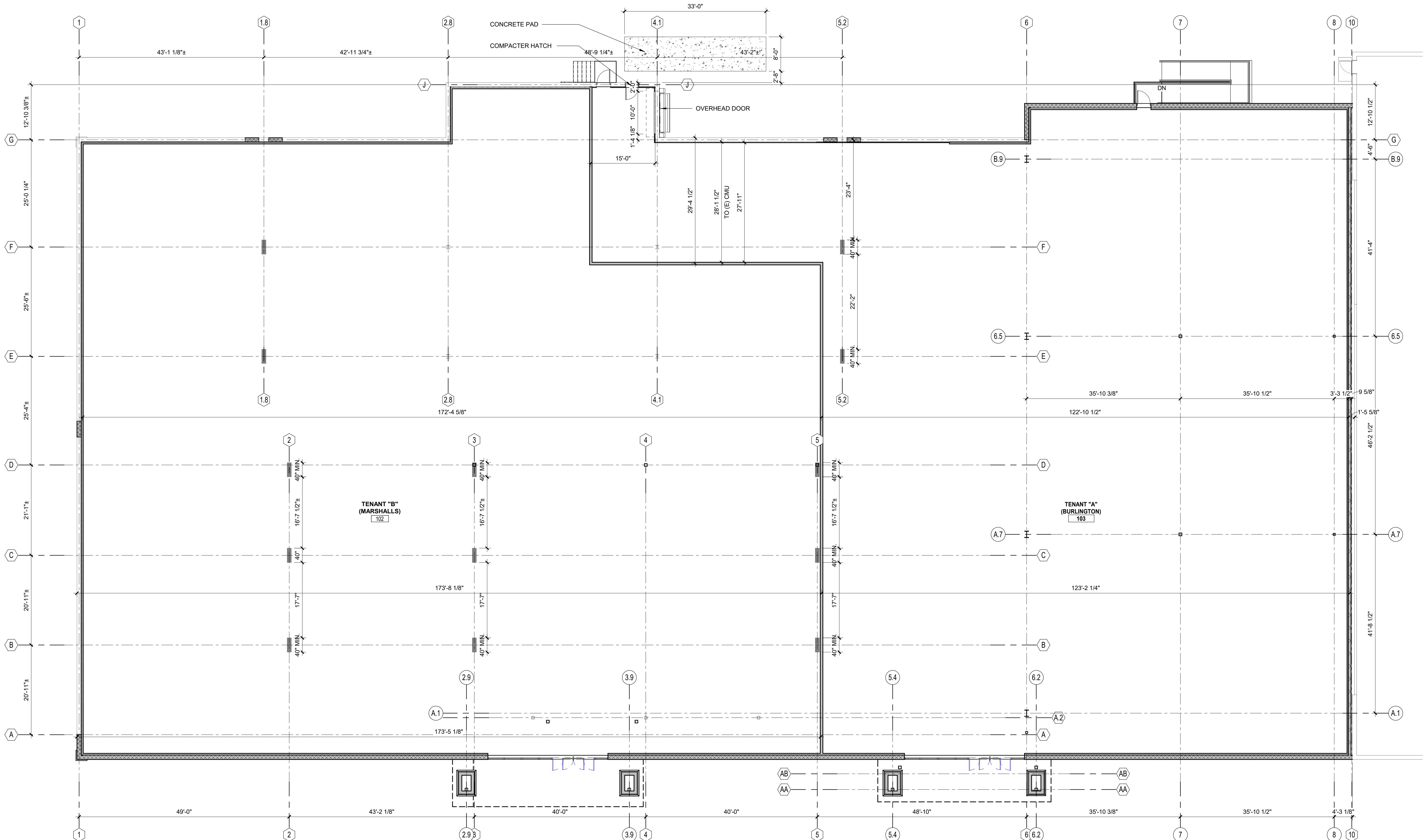


1. Major Site Plan: 4014 Medina Road

Documents:

[4014_MEDINA_ROAD_P_Z REVIEW_-_ARCHITECTURAL_DRAWINGS.PDF](#)
[4014_MEDINA_ROAD_P_Z REVIEW_-_CIVIL_SITE_DRAWINGS.PDF](#)
[MARKET_SQUARE_2013_ALTA_SURVEY-SIGNED_2013-07-19.PDF](#)



FIRST FLOOR PLAN

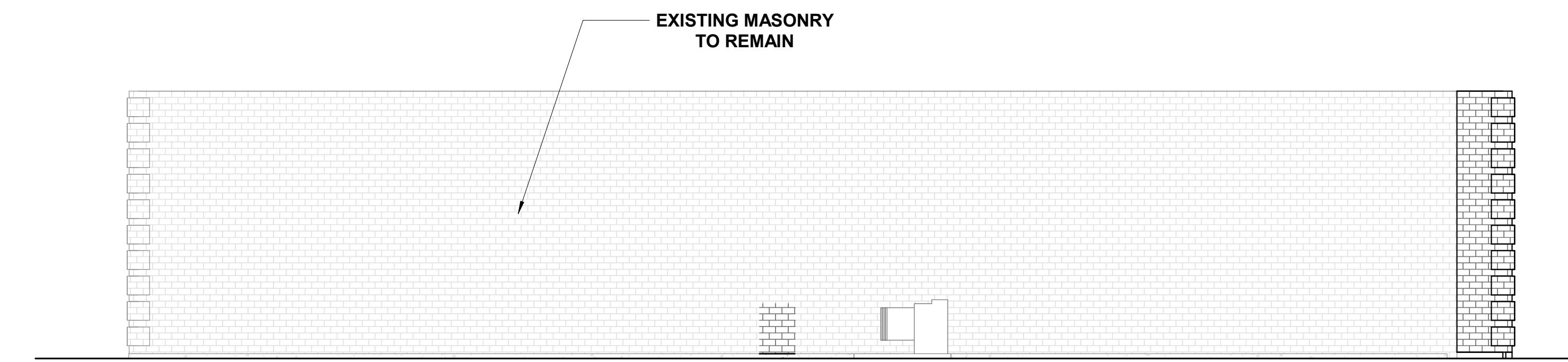
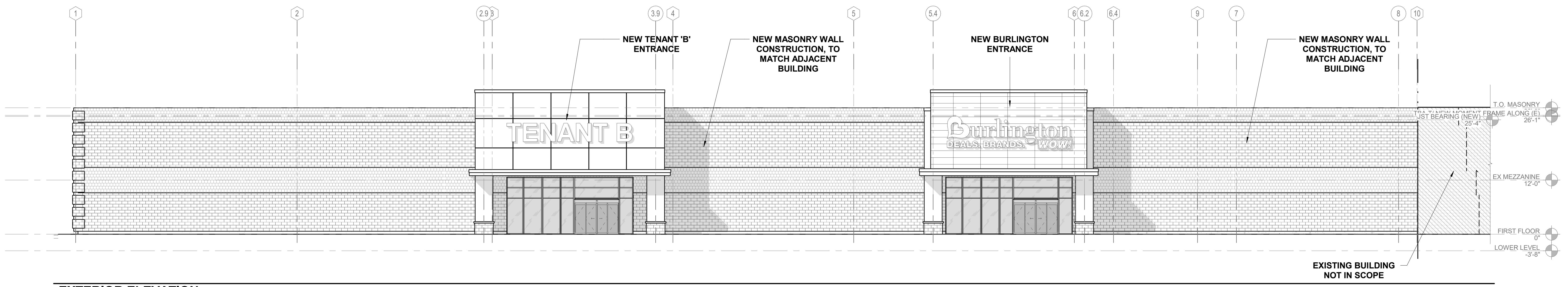
3/32" = 1'-0"

REGAL CINEMAS REDEMISE & RENOVATION

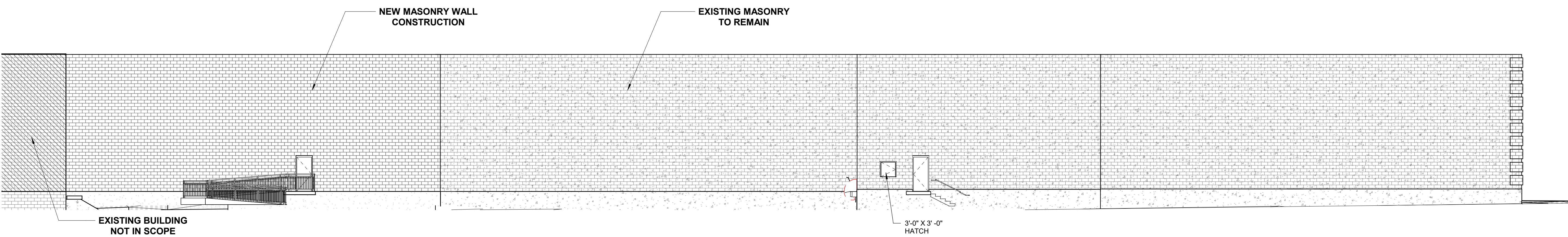
4014 MEDINA ROAD, AKRON OH 44321

SCHEMATIC DESIGN FLOOR PLAN | 12.5.2025





EXTERIOR ELEVATION
3/32" = 1'-0"

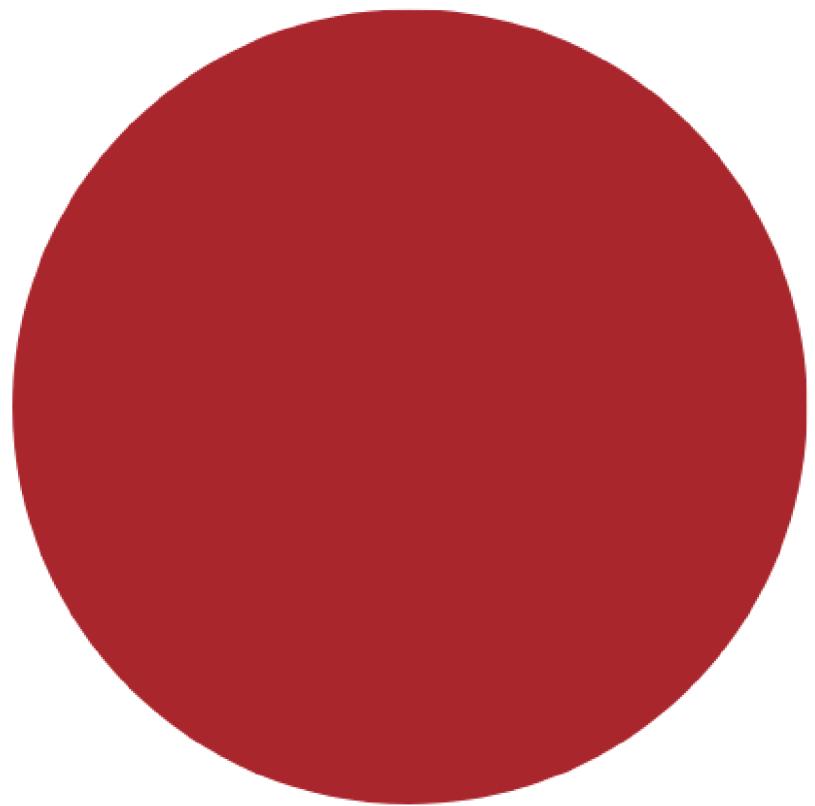


EXTERIOR ELEVATION
3/32" = 1'-0"

REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN ELEVATION | 12.5.2025

Colliers Engineering & Design



NICHIHA ILLUMINATION PANEL ; CUSTOM BURLINGTON RED



ALUCOBOND EYEBROW CANOPY PROJECTION



EIFS: SW7009 PEARLY WHITE

PRE-FINISHED METAL
CONTINOUS CLEAT COPING
BY PAC-CLAD OR ATAS.
COLOR TO MATCH EXISTING



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321

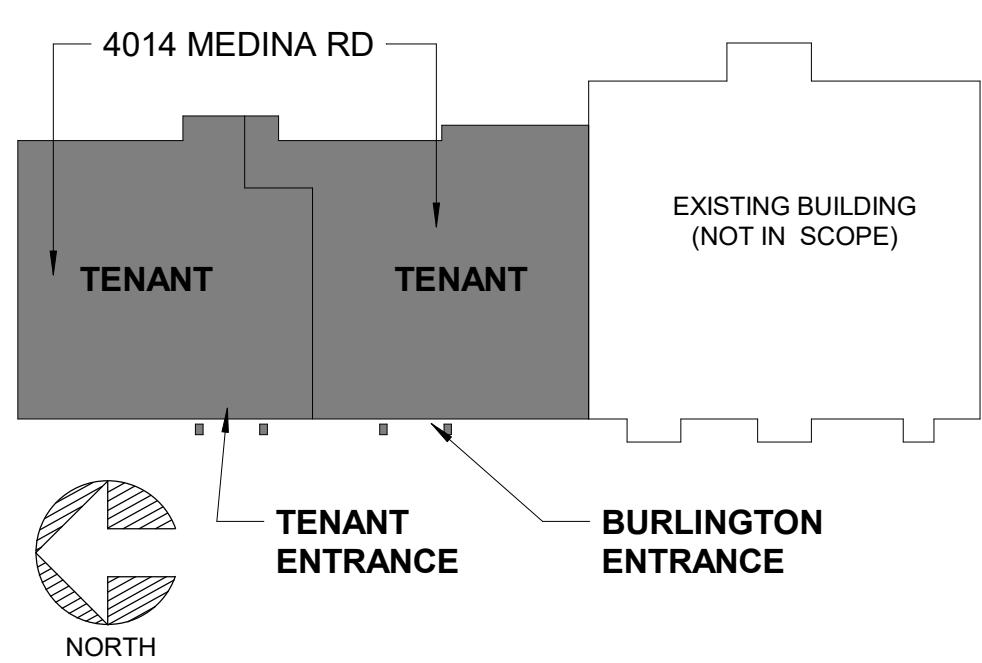
SCHEMATIC DESIGN RENDERS | 12.5.2025

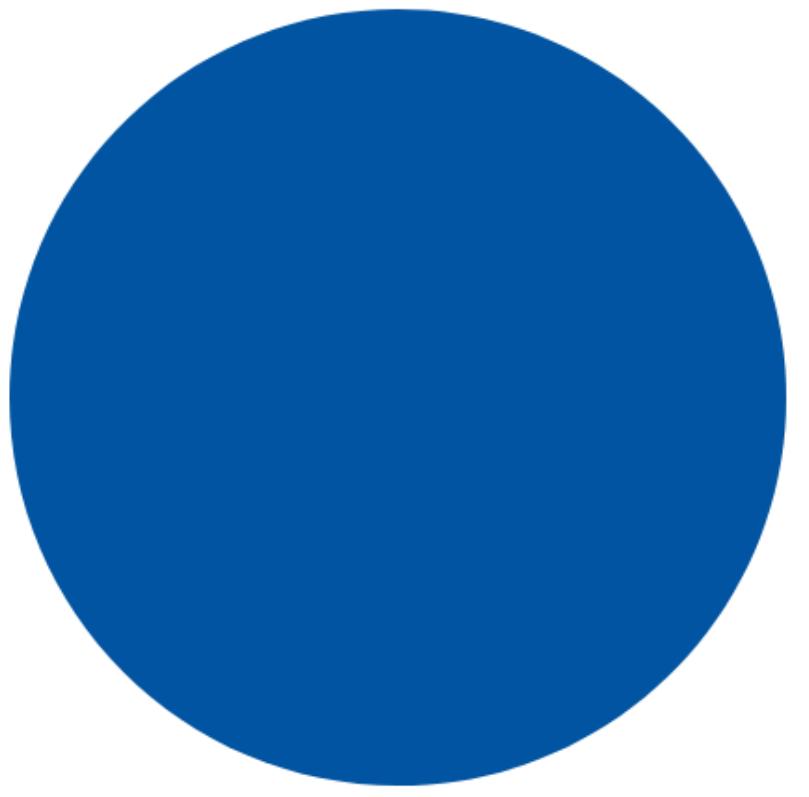


EXISTING PHOTO



3D View 2





SIGNAGE, PARAPET, TRIM: ORACAL 7500 #006 INTENSE BLUE



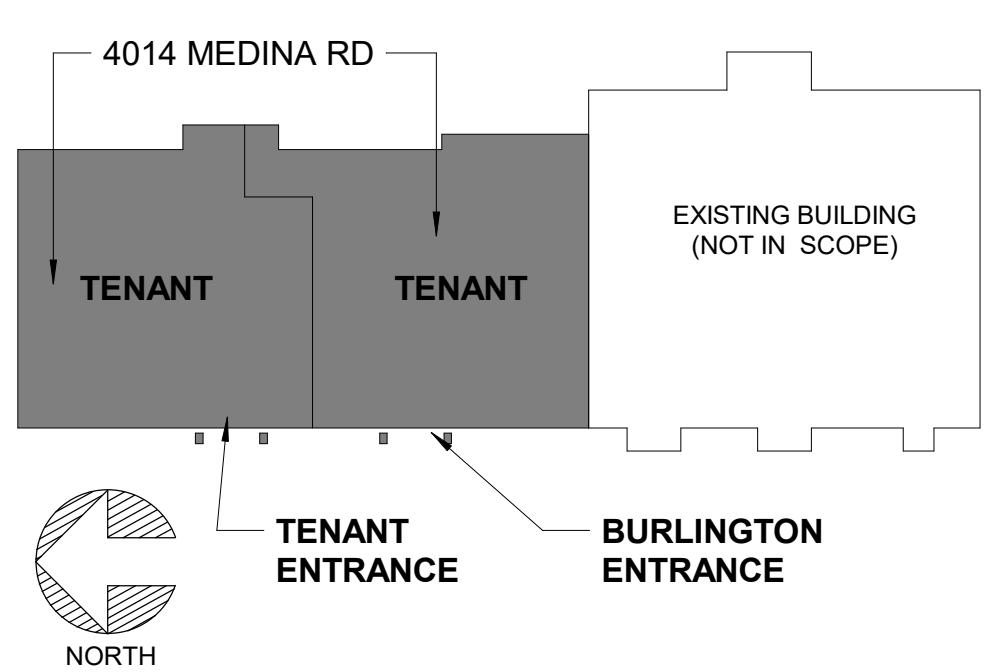
EIFS WHITE; SW7006 EXTRA WHITE



EXISTING PHOTO



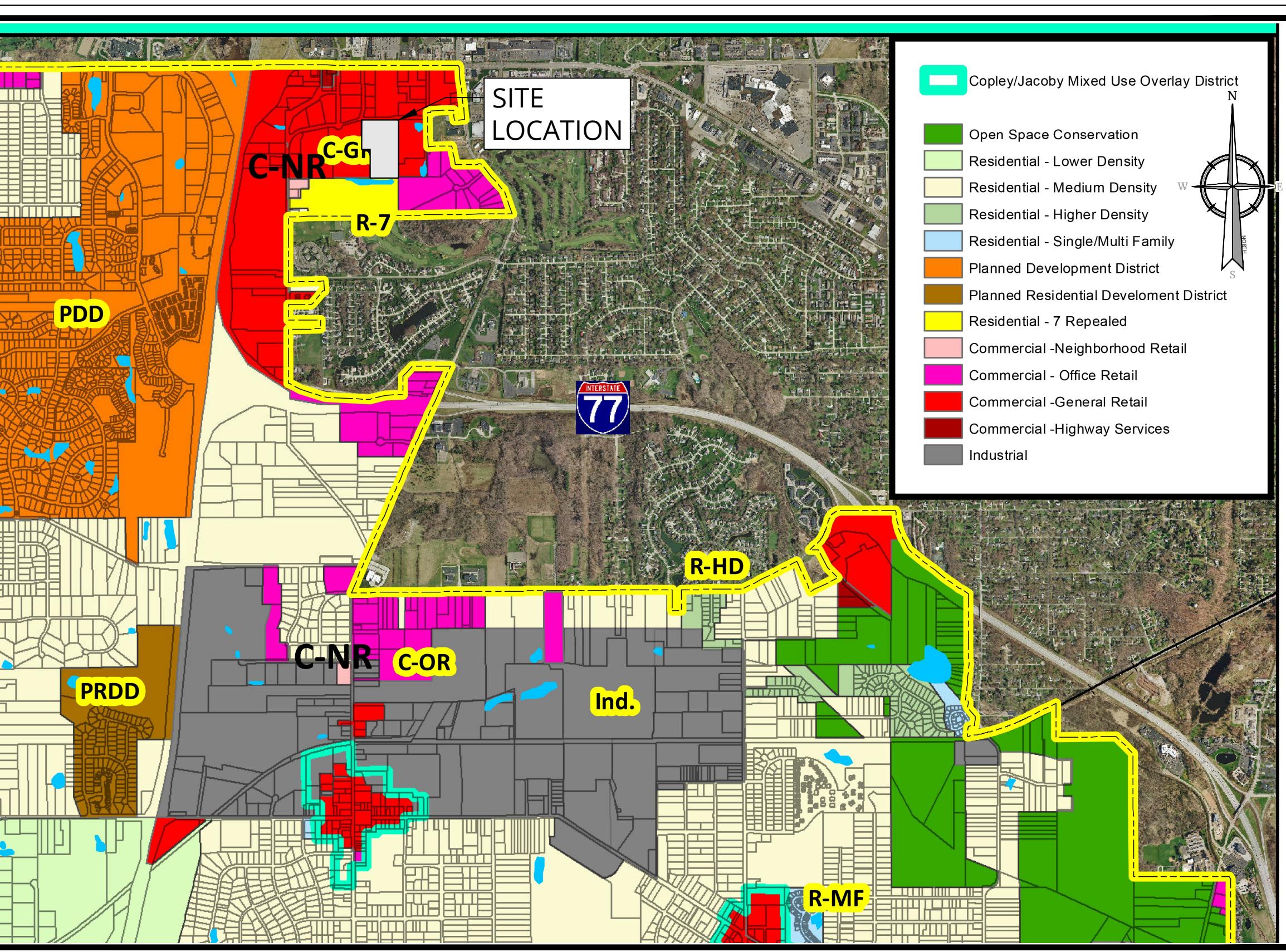
3D View 3



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025

**SITE PLANS
FOR
PHASE ZERO DESIGN, INC.
BURLINGTON & ROSS TURNKEY FIT OUT
RENOVATION
PARCEL ID# 1507082
COPLEY TOWNSHIP
SUMMIT COUNTY, OH**



KEY & ZONING MAP

SOURCE:

By HAMMOND on 2025-12-04 09:59
Development Plan/Engineering/Plan Submissions

OWNER/APPLICANT:
NAME:

ADDRESS:
PHONE:

INDEX OF SHEET

DESCRIPTION	SHT. No.
COVER SHEET	C-100
DEMOLITION PLAN	C-200
DIMENSION PLAN	C-300
TRUCK TURN PLAN	C-301
GRADING PLAN	C-400
UTILITY PLAN	C-500
PROFILES	C-600
SOIL EROSION & SEDIMENT CONTROL PLAN	C-700
SOIL EROSION & SEDIMENT CONTROL DETAILS	C-701
LANDSCAPE PLAN	C-800
LIGHTING PLAN	C-801
LANDSCAPE & LIGHTING DETAILS	C-802
CONSTRUCTION DETAILS	C-900

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____
APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF COPLEY AT THE
REGULAR MEETING OF _____ DATE _____
CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
ENGINEER _____ DATE _____

BULK TABLE		
COPLEY TOWNSHIP		
GENERAL RETAIL COMMERCIAL DISTRICT (C-GR)		
REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	N/A
MAXIMUM LOT AREA	N/A	N/A
MINIMUM LOT WIDTH	N/A	262.35 FT.
MINIMUM LOT DEPTH	N/A	612.47 FT.
PRINCIPAL BUILDING SETBACKS (ARTICLE 4.01.F.1-4)		
MINIMUM FRONT YARD	25 FT.	9.1 FT.
MINIMUM REAR YARD	50 FT.	81.9 FT.
MINIMUM SIDE YARD	25 FT.	30.8 FT.
MINIMUM SIDE YARD IF ADJACENT TO RESIDENTIAL DISTRICT	50 FT.	34.1 FT.
MAXIMUM BUILDING HEIGHT (ARTICLE 4.01.F.5)		
MAXIMUM FLOOR AREA RATIO		
MAXIMUM LOT COVERAGE		
PARKING & LOADING (ARTICLE 9)		
MIN. PARKING, LOADING & DRIVEWAY SETBACK	20 FT.	N/A
1 PARKING SPACE / 250 GSF	317 SPACES	595 SHARED SPACES
3 LOADING SPACES FOR COMMERCIAL USES >30,000 SF AND <90,000 SF	3 SPACES	0 SPACES
1 BICYCLE PARKING SPACE / 5,000 GSF OR 2	16 SPACES	0 SPACES
FENCES & WALLS (ARTICLE 6.01.BB)		
R.O.W. SETBACK	10 FT.	N/A
MAXIMUM FENCE HEIGHT	6 FT.	N/A
SIGNS (ARTICLE 6)		
GROUND SIGN 1 PER 500 LF OF STREET FRONTRAGE OR FRACTION THEREOF	1	0
FRONT SETBACK	10 FT.	N/A
MAXIMUM SIGNAGE AREA	30 S.F.	N/A
MAXIMUM SIGNAGE HEIGHT	8 FT.	N/A
WALL SIGN 1 PER BUILDING	1	3
MAXIMUM WALL SIGN AREA	40 S.F.	3

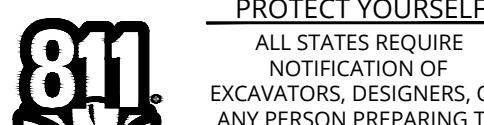
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REV DATE DESCRIPTION



BURLINGTON&ROSS TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

**BURLINGTON
RENOVATION PROJECT**

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

TOLEDO (BA)
Colliers
Engineering & Design

SCALE: DRAWN BY:
AS SHOWN HMK
DESIGNED BY: REVIEWED BY:
HMK DJF
DATE ISSUED: PROJECT NUMBER:
11/03/2025 25004311A
SHEET NAME:

COVER SHEET

DRAWING NUMBER:
C-100

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



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REV | DATE | DESCRIPTION



BURLINGTON&ROSS

TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

BURLINGTON RENOVATION PROJECT

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

TOLEDO (BA)
3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567.318.1531
COLLIERS ENGINEERING & DESIGN, INC.

SCALE:	DRAWN BY:
<u>AS SHOWN</u>	<u>HMK</u>
DESIGNED BY:	REVIEWED BY:
<u>HMK</u>	<u>DJF</u>
DATE ISSUED:	PROJECT NUMBER:
<u>11/03/2025</u>	<u>25004311A</u>

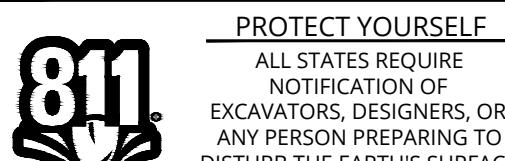
Overall Length	73.501ft
Overall Width	8.500ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40°

SCALE : 1" = 30'
SELECT LINEAR UNIT OF MEASURE

C-301

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

REV DATE DESCRIPTION



PROTECT YOURSELF
ALL STATES REQUIRE
NOTIFICATION OF
EXCAVATORS, DESIGNERS, OR
ANY PERSON PREPARING TO
DISTURB THE EARTH'S SURFACE
ANYWHERE IN ANY STATE

FOR STATE-SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM

BURLINGTON&ROSS TURNKEY FIT OUT

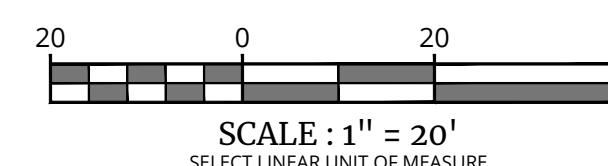
MAJOR SITE PLAN
PARCEL ID#1507082BURLINGTON
RENOVATION PROJECT4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

LEGEND	
EXISTING	PROPOSED
12+00	12+00 13+00
TL △ Pi	TRaverse line, center line OR BASELINE (LABEL AS SUCH)
—	RIGHT OF WAY LINE
—	PROPERTY LINE
—	EDGE OF PAVEMENT
—	CURB
—	DEPRESSED CURB
—	SIDEWALK
—	FENCES
—	TREELINE
—	ROADWAY SIGNS
—	WETLAND LINE
—	MUNICIPAL BOUNDARY LINE
—	'B' INLET
—	'E' INLET
—	STORM MANHOLE
—	SANITARY MANHOLE
—	FLARED END SECTION
—	HEADWALL
—	HYDRANT
—	POLE MOUNTED LIGHT
—	CONTOURS
—	SPOT ELEVATION
—	DIRECTION OF OVERLAND FLOW
—	TOP OF CURB ELEVATION
—	BOTTOM OF CURB ELEVATION
—	TOP OF DEPRESSED CURB ELEVATION

TOLEDO (BA)
Colliers
3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567-318-1531
COLLIERS ENGINEERING & DESIGN, INC.

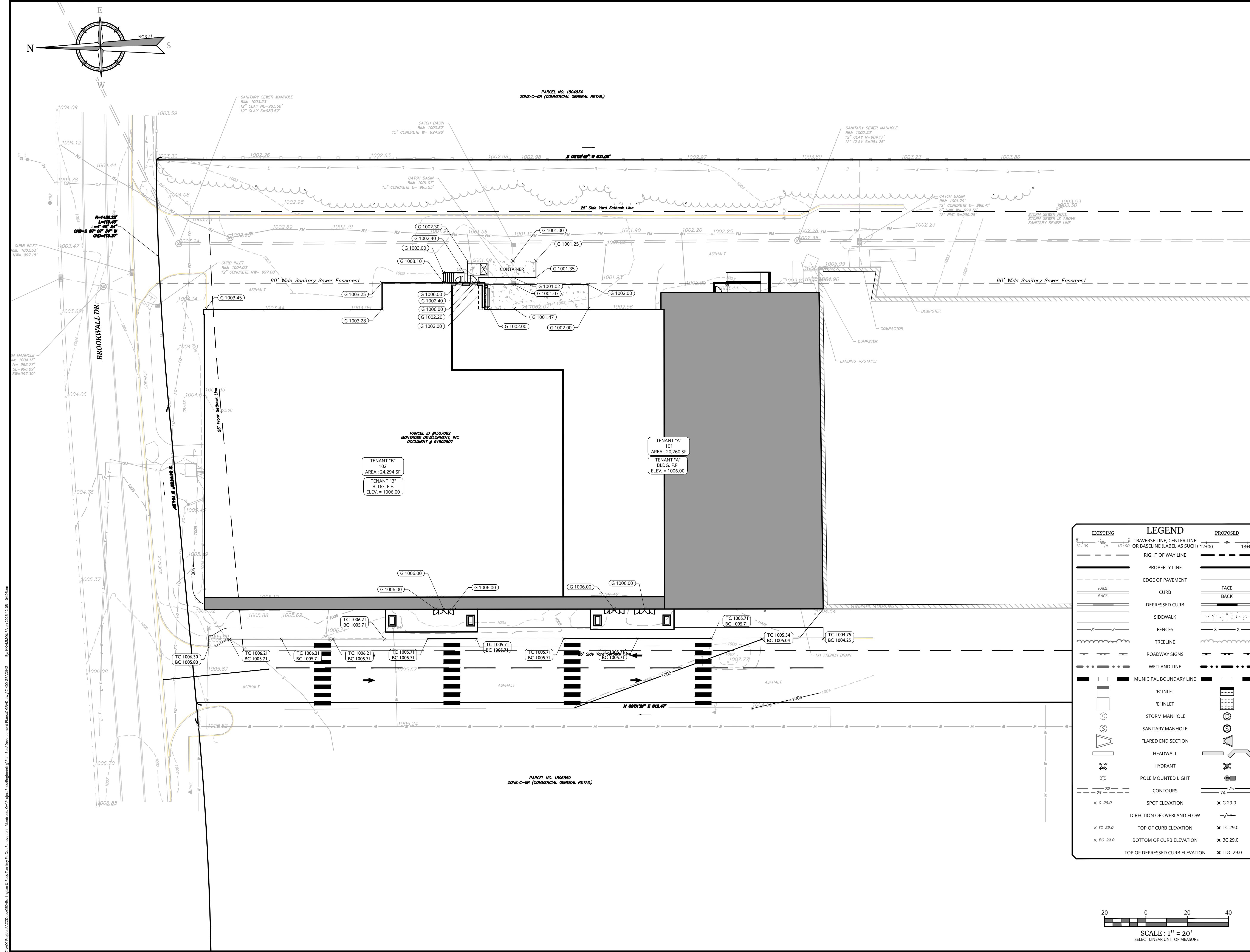
SCALE: DRAWN BY:
AS SHOWN HMK
DESIGNED BY: REVIEWED BY:
HMK DJF
DATE ISSUED: PROJECT NUMBER:
11/03/2025 25004311A
SHEET NAME:

GRADING PLAN



DRAWING NUMBER:

C-400



REV DATE DESCRIPTION



BURLINGTON&ROSS TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082BURLINGTON
RENOVATION PROJECT4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

LEGEND	
EXISTING	PROPOSED
12+00	12+00
TL △	13+00
PI	OR BASELINE (LABEL AS SUCH)
12+00	13+00
RIGHT OF WAY LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
CURB	
DEPRESSED CURB	
SIDEWALK	
FENCES	
TREELINE	
ROADWAY SIGNS	
WETLAND LINE	
MUNICIPAL BOUNDARY LINE	
'B' INLET	
'E' INLET	
STORM MANHOLE	
SANITARY MANHOLE	
FLARED END SECTION	
HEADWALL	
HYDRANT	
POLE MOUNTED LIGHT	
CATV	
CABLE TV CONDUIT	
WATER MAIN	
GAS MAIN	
TELEPHONE CONDUIT	
ELECTRIC CONDUIT	
SANITARY PIPE	
STORM PIPE	

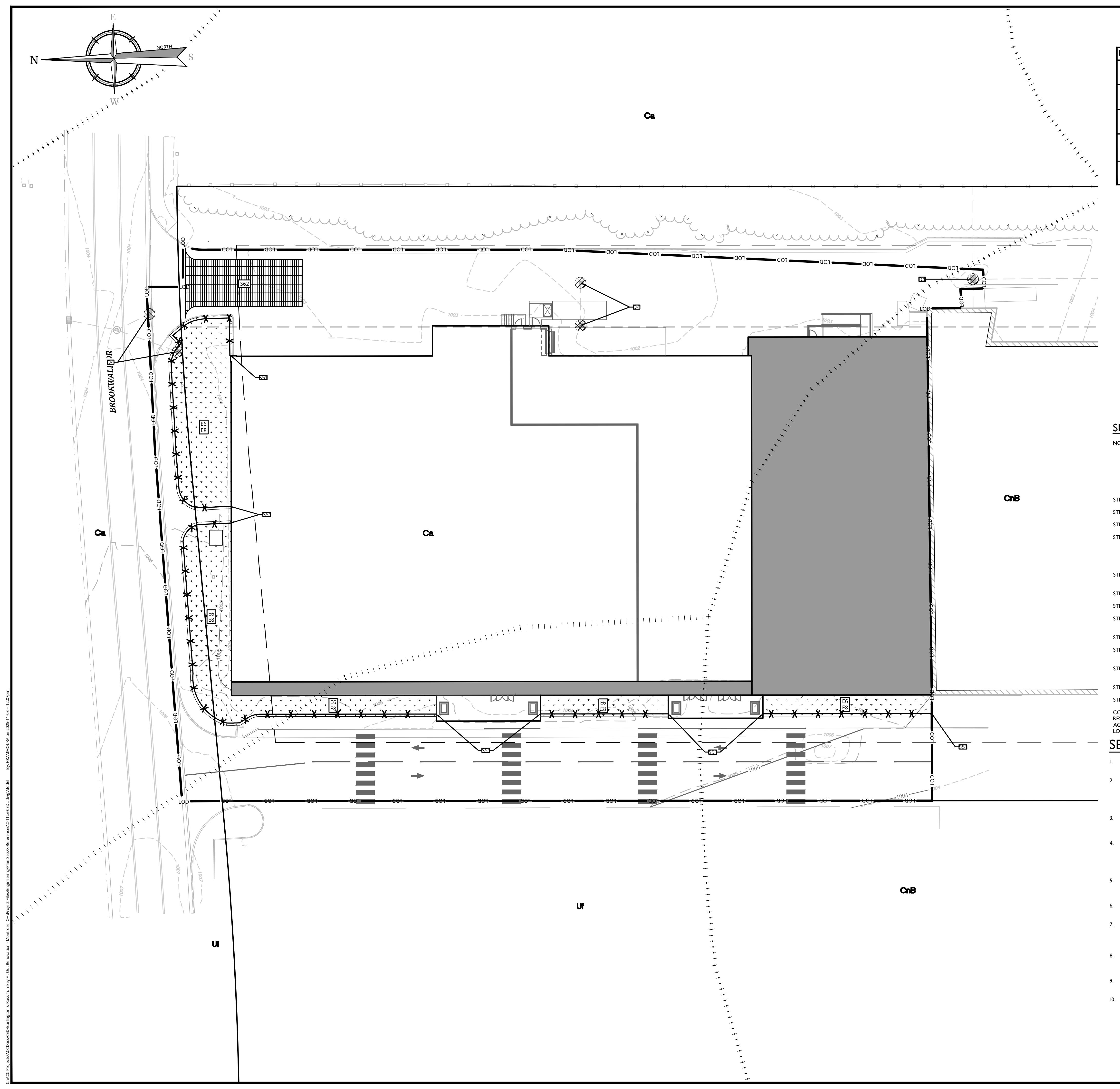
20 0 20 40
SCALE : 1" = 20'
SELECT LINEAR UNIT OF MEASURE

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Maumee, OH 43537
Phone: 567-318-1531
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DATE ISSUED: PROJECT NUMBER:
11/03/2025 25004311A
SHEET NAME:

UTILITIES PLAN

DRAWING NUMBER: C-500



SESC KEYING SYSTEM			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
D4	DANDY BAG		Use at stormwater inlets, especially at construction sites.
E6	MULCH		For use in areas subject to erosive surface flows or severe wind or on newly seeded areas.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S62	TRACKOUT CONTROL MAT		Use to provide site access while minimizing sediment leaving the site.

SESC LEGEND:

	REFERS TO THE APPROPRIATE S.E.C. KEYING SYSTEM DETAIL
	LIMITS OF EARTH DISTURBANCE (1.76 ACRES)
	SILT FENCE
	S.E.C. SOIL BOUNDARY
	INLET PROTECTION
	CONSTRUCTION ENTRANCE
	PROPOSED SEED AREA

SOIL TYPES:

Ca	CANADIS SILTY CLAY LOAM
CrB	CHILI LOAM, 2 TO 6 PERCENT SLOPES
Uf	UDORTHENTS, SANITARY LANDFILL

SEQUENCE OF CONSTRUCTION NOTES:

NOTE: THIS TEXT IS NOT INTENDED TO DICTATE A METHODS AND MEANS TO THE CONTRACTOR. IT IS SUGGESTED PROCESS FOR CONSTRUCTION ACTIVITIES IN ORDER TO MINIMIZE THE AMOUNT OF SOIL EROSION TO THE SITE AND TO COMPLY WITH THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION. THE OWNER SHE WILL BE HELD TO THE SCHEDULE AND TO THE SOIL EROSION PLAN. IF THE CONTRACTOR SEEKS FIT, HE OR SHE MAY AMEND THIS SCHEDULE AND/OR PLAN, BUT A REVISED WRITTEN SEQUENCING SCHEDULE AND/OR SOIL EROSION PLAN MUST BE SUBMITTED TO SUMMIT COUNTY FOR APPROVAL PRIOR TO DEVIATING FROM THIS SCHEDULE AND/OR PLAN.

STEP 1: IMPLEMENTATION MEETING

STEP 2: INSTALL PERIMETER CONTROLS

STEP 3: BEGIN CLEARING AND GRUBBING THE SITE

STEP 4: ROUGH GRADING: STRIPPING AND STOCKPILING TOPSOIL. AREAS THAT WILL NOT BE FURTHER DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE IMMEDIATELY SEEDED WITH MULCH. EXCESS MATERIAL SHALL EITHER BE STOCKPILED IN THE AREAS SHOWN ON THE DRAWINGS, LEVELED ON SITE, OR DISPOSED OF OFF-SITE IN A LEGAL MANNER. STOCKPILES SHALL BE TEMPORARILY STABILIZED WITH SILT FENCE AND/OR TEMPORARY SEEDING.

STEP 5: UNDERGROUND UTILITIES: EXCAVATED MATERIAL FOR UTILITIES SHALL EITHER BE STOCKPILED, LEVELED ON SITE, OR DISPOSED OF OFF-SITE IN A LEGAL MANNER.

STEP 6: INSTALL INLET PROTECTION MEASURES AT STORM SEWER INLETS AS EACH INLET STRUCTURE IS INSTALLED

STEP 7: BUILDING CONSTRUCTION INCLUDING FOUNDATIONS

STEP 8: FINAL GRADING (1): AREAS OUTSIDE THE INFLUENCE OF FURTHER CONSTRUCTION ACTIVITIES SHALL BE FINAL GRADED AND STABILIZED WITH PERMANENT SEED AND MULCH.

STEP 9: PAVING.

STEP 10: FINAL GRADING (2): ALL REMAINING AREAS SHALL BE SEDED AND MULCHED WITHIN 5 DAYS OF FINAL GRADING.

STEP 11: TEMPORARY SOIL EROSION CONTROL MEASURES ARE TO BE REMOVED WHEN PERMANENT MEASURES ARE IN PLACE AND THE AREA IS STABILIZED.

STEP 12: CLEAN OUT POST-CONSTRUCTION BMPS AFTER FINAL SITE STABILIZATION.

STEP 13: UPON APPROVAL, SUBMIT THE NOTICE OF TERMINATION TO THE PERMITTING AGENCY.

CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE OWNER. MAINTENANCE RESPONSIBILITIES SHALL BECOME A PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE LOCATED.

SESC NOTES:

1. CONTRACTOR IS TO CONTACT THE SUMMIT COUNTY OFFICE AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SOIL EROSION CONTROL MEASURES DURING CONSTRUCTION. SESC MEASURES SHOULD BE CHECKED DAILY AND AFTER STORM EVENTS FOR EFFECTIVENESS. OWNER SHALL MAINTAIN ALL PERMANENT SESC MEASURES AFTER CONSTRUCTION IS COMPLETE. ALL SESC MEASURES SHALL BE CHECKED MONTHLY FOR ONE YEAR FOR EFFECTIVENESS. ANY MEASURES THAT HAVE FAILED SHALL BE REPAIRED AND/OR REPLACED.
3. ALL TEMPORARY S.E.C. MEASURES SHALL BE MAINTAINED 30 DAYS AFTER CONSTRUCTION IS COMPLETE OR UNTIL GRADED AREAS ARE STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING TEMPORARY SESC MEASURES.
4. ALL GRADED AREAS EXPOSED FOR MORE THAN 20 DAYS SHALL HAVE STRAW MULCH APPLIED AT THE RATE OF 3 TONS / ACRE. AREAS NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN ONE YEAR MUST BE SEDED AND MULCHED WITH QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. AREAS WHICH ARE AT FINISHED GRADE AND WILL NOT BE DISTURBED FOR A YEAR MUST BE SEDED AND MULCHED WITH A PERMANENT SEED MIXTURE.
5. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE FOR GRADING AND TO CONSTRUCT SEDIMENT BASINS, SEDIMENT TRAPS, DIVERSION TERRACES, INTERCEPTOR CHANNELS, AND/OR CHANNELS OF CONVEYANCE AS APPROPRIATE.
6. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
7. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTION OF ALL EROSION AND SEDIMENTATION CONTROL ON A DAILY BASIS AND AFTER EACH STORM EVENT. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
8. CONTACT INFORMATION FOR THE ON-SITE EXCAVATING CONTRACTORS, HAULING CONTRACTORS, ETC., PERSON AND COMPANY, INCLUDING OFFICE, MOBILE AND FAX PHONE NUMBERS, SHALL BE SUBMITTED TO THE SUMMIT COUNTY PRIOR TO COMMENCEMENT OF EARTH DISTURBANCE.
9. APPROVAL OF THE SOIL EROSION PERMIT DOES NOT AUTHORIZE ANY EARTH DISTURBANCE ACTIVITY OFF-SITE WITHOUT WRITTEN PERMISSION FOR THAT EARTH DISTURBANCE ACTIVITY FROM THE LANDOWNER.
10. NO DEWATERING IS PLANNED FOR THIS PROJECT. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR APPROVAL TO THE SUMMIT COUNTY OFFICE AND/OR THE OHIO EPA AS REQUIRED. NO DEWATERING SHALL COMMENCE UNTIL APPROVAL HAS BEEN OBTAINED.

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BURLINGTON&ROSS TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

**BURLINGTON
RENOVATION PROJECT**

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

TOLEDO (BA)
Colliers
3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567.318.1531
COLLERS ENGINEERING & DESIGN, INC.

SCALE: DRAWN BY:
AS SHOWN HMK
DESIGNED BY: REVIEWED BY:
HMK DJF
DATE ISSUED: 11/03/2025 PROJECT NUMBER: 25004311A
SHEET NAME: SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING NUMBER: C-700
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION
SCALE : 1" = 20'
SELECT LINEAR UNIT OF MEASURE

GENERAL INFORMATION	
THE TRACKOUT CONTROL SYSTEM IS DESIGNED TO BE USED AS A TEMPORARY CONSTRUCTION ENTRANCE WHICH PROVIDES SITE ACCESS WHILE MINIMIZING SEDIMENT LEAVING THE SITE. THE TOP SURFACE OF THE MAT IS A GEOMETRIC PATTERN FORMED IN THE SHAPE OF PYRAMIDS. THE MATS ARE UNIDIRECTIONAL AND ARE MEANT TO HAVE THE STAGGERED PYRAMIDS IN THE DIRECTION OF TRAVEL. INDIVIDUAL MATS ARE CONNECTED TOGETHER WITH HARDWARE TO FORM VARIOUS CONFIGURATIONS TO FIT YOUR JOBSITE.	
INSTALLATION	
TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED NEAR THE SITE EXIT POINT, AS CLOSE TO THE LOCATION WHERE VEHICLES ENTER THE ROADWAY AS SAFELY AS POSSIBLE. MATS SHOULD NOT BE INSTALLED AT A LOW POINT ON THE SITE WHERE WATER WILL POOL.	
SUITABLE INSTALLATION SUBSTRATE	

S62 TRACKOUT CONTROL MAT

NTS

*FOR LEGAL DESCRIPTIONS SEE SHEET 3 OF 3

FLOOD PLAIN DATA

PARCEL IS IN FLOOD ZONE C (OUTSIDE OF 500 YEAR FLOOD)
PER COUNTY OF SUMMIT UNINCORPORATED AREAS COMMUNITY
PANEL NO. 3907810105 B DATED APRIL 15, 1981

PARCEL ZONING: C-4 (SHOPPING CENTERS)

BUILDING SETBACK

FRONT = 50'

REAR = 25'

SIDE = 50'

ALL BUILDINGS SHOWN MEET THE REQUIRED

SETBACK AND ZONING REQUIREMENTS

SCALE: 1"=100'

SITUATED IN
COBLEY TOWNSHIP
COUNTY OF SUMMIT
STATE OF OHIO
PART OF ORIGINAL LOT 3PARCEL "1" = 0.8357 AC.
+ PARCEL "6" = 12.8681 AC.
+ PARCEL "2" = 14.6091 AC.
+ PARCEL "3" = 12.6763 AC.
+ PARCEL "4" = 1.4401 AC.
+ PARCEL "5" = 2.7917 AC.
TOTAL AREA = 45.2210 AC.

CERTIFICATION

TO: PERA MONTROSE, INC; CHICAGO TITLE INSURANCE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS,
AND INCLUDES ITEMS 1,2,3,6a, 7(c), 7(b)(1), 8, 9, 11b, 13, 16 OF TABLE A THEREOF.
THE FIELD WORK WAS COMPLETED ON JULY 9, 2013.

LOUIS J. BIFFELS REG. NO. 7790 DATE 7/19/2013



GBC Design, Inc.

PERA MONTROSE, INC.

ALTA/ACSM LAND TITLE SURVEY
MAY, 2013 UPDATEDRAWN BY:
J.A.B.DATE:
MAY, 2013PROJECT NO.
210426G

DRAWING NO.

1 OF 3

LEGEND

- LIGHT POLE
- INLET
- UTILITY LINE
- MANHOLE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- GAS LINE
- NAIL FOUND
- P.K. NAIL SET
- IRON PIN FOUND
(5/8" CAPPED REBAR "T.E. GIFFELS 5960")
(UNLESS OTHERWISE NOTED & USED)
- △ DRILL HOLE FOUND
- DRILL HOLE SET
- MONUMENT FOUND
- 5/8" CAPPED REBAR SET, (GBC DESIGN, INC.)
- ▲ TITLE REPORT SCHEDULE B ITEM NO.
- POINT OF ACCESS TO PUBLIC RIGHT-OF-WAY

ROTHROCK RD. 65°

PUBLIC RIGHT-OF-WAY

ROTHROCK RD (C.H. 202)

CAB. G. SLIDES 940-943

PARCEL "4"
AREA=1.4401 ACRES
PERA MONTROSE, INC.
PPN: 1505314
REC. #55321646△ DRAINAGE EASEMENT
CAB. G. SLIDES 940-943△ DRAINAGE EASEMENT
CAB. G. SLIDES 940-943△ OHIO EDISON CO. ESMT.
O.R. 208, PG. 764△ 25' SAN. SEW. EASEMENT
O.R. 1889, PG. 6425/8" CAPPED REBAR
"GBC DESIGN, INC."

ROTHROCK RD. 65°

PUBLIC RIGHT-OF-WAY

ROTHROCK RD (C.H. 202)

CAB. G. SLIDES 940-943

S. BANKEY
PPN: 1500075
O.R. 1757, PG. 754PARCEL "4"
AREA=1.4401 ACRES
PERA MONTROSE, INC.
PPN: 1505314
REC. #55321646△ DRAINAGE EASEMENT
CAB. G. SLIDES 940-943△ DRAINAGE EASEMENT
CAB. G. SLIDES 940-943△ OHIO EDISON CO. ESMT.
O.R. 208, PG. 764△ 25' SAN. SEW. EASEMENT
O.R. 1889, PG. 6425/8" CAPPED REBAR
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REC. #55321646△ DRAINAGE EASEMENT
CAB. G. SLIDES 940-943△ DRAINAGE EASEMENT

EASEMENTS, RESERVATIONS, & RESTRICTIONS

- EASEMENT, RESERVATIONS AND RESTRICTION AS SHOWN THE PLAT OF DEDICATION FOR SPRINGSIDE DRIVE, AS RECORDED IN PLAT CABINET G, SLIDE 940 OF THE SUMMIT COUNTY RECORDS - SHOWN (EASEMENT RECITAL IS BLANKET-NOT SHOWN) - APPLIES TO SUBJECT PROPERTY (UTILITY EASEMENT AFFECTS PARCELS F, G, H, AND M ONLY) (DRAINAGE EASEMENT AFFECTS PARCEL M ONLY) - ITEM NO. 12.
- EASEMENT FOR ROAD PURPOSES AS SHOWN ON THE PLAT OF BROOKWALL DRIVE (C.H. 538), AS RECORDED IN RECEPTION #54315827 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL F ONLY) - ITEM NO. 13.
- EASEMENT FOR ROAD PURPOSES AND 10' STORM EASEMENT AS SHOWN ON THE PLAT OF DEDICATION FOR FLIGHT MEMORIAL DRIVE (T.R. 4136), AS RECORDED IN RECEPTION # 54445914 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C AND F ONLY) - ITEM NO. 14.
- DECLARATION OF RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 905 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M) - ITEM NO. 15.
- BOARD OF COMMISSIONERS OF SUMMIT COUNTY WATER SUPPLY FACILITIES EASEMENT, AS RECORDED IN DEED VOLUME 5891, PAGE 99 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 16.
- RED ROOF AKRON CO. STORM WATER DRAINAGE EASEMENT AS RECORDED IN DEED VOLUME 6309, PAGE 628 OF THE SUMMIT COUNTY RECORDS, RIGHTS THEN ASSIGNED IN DEED VOLUME 1158, PAGE 420 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 17.
- OHIO EDISON COMPANY 10' EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 757 OF THE SUMMIT COUNTY RECORDS - AMENDMENT RECORDED IN RECEPTION #54288098 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G AND H ONLY) - ITEM NO. 18.
- OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 761 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 19.
- OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 764 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 20.
- OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 770 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 21.
- COUNTY OF SUMMIT 50' ACCESS EASEMENT AS RECORDED IN OFFICIAL RECORD 366, PAGE 619 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (WITHIN THE LIMITS OF FLIGHT MEMORIAL DRIVE ONLY) - ITEM NO. 22.
- COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1090, PAGE 48 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 29) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 23.
- EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1183, PAGE 177 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS G, H, I AND J ONLY) - ITEM NO. 24.
- EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1661, PAGE 179 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 25.
- 25' SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO THE COUNTY OF SUMMIT, OHIO AS RECORDED IN OFFICIAL RECORD 1723, PAGE 861 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 26.
- COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1889, PAGE 642 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 18) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 27.
- EASEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE DEVELOPMENT INC., AS RECORDED IN OFFICIAL RECORD 2034, PAGE 988 OF THE SUMMIT COUNTY RECORDS (AMENDED IN RECEPTION #54186629 OF THE SUMMIT COUNTY RECORDS) - SHOWN - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 28.
- SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO MONTROSE DEVELOPMENT, INC. AND FAIRWAY PARK PROPERTIES LLC, AS RECORDED IN RECEPTION #54186630 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY - ITEM NO. 29.
- PARKING EASEMENT FROM MONTROSE DEVELOPMENT INC., TO STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308425 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS F, G, H AND I ONLY) - ITEM NO. 30.
- UTILITY AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54411125 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 31.
- COMMON DRIVEWAY EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM AND JACQUELINE MOTSINGER., AS RECORDED IN RECEPTION #54562367 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C AND F) - ITEM NO. 32.
- TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A DEED OF EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND FRISCH'S RESTAURANTS, INC., AS RECORDED IN RECEPTION #54562368 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL G AND H ONLY) - ITEM NO. 33.
- TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A RECIPROCAL EASEMENT AND EXCLUSIVE USE AGREEMENT BETWEEN MS AT MONTROSE, LLC AND JOHN C. STRUGO AS RECORDED IN RECEPTION #55292245 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET OVER ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 34.
- TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE CINEMA, INC., AS RECORDED IN OFFICIAL RECORD 194, PAGE 793 OF THE SUMMIT COUNTY RECORDS - TERMS, COVENANTS AND RESTRICTIONS CONTAINED IN A LEASE ASSIGNMENT AND ASSUMPTION AGREEMENT BETWEEN MONTROSE CINEMA'S, INC., REGAL CINEMA'S, INC., AND MONTROSE DEVELOPMENT, INC., AS RECORDED IN OFFICIAL RECORD 1648, PG. 760 OF THE SUMMIT COUNTY RECORDS - ASSIGNMENT AND ASSUMPTION OF LEASE AGREEMENT BETWEEN MONTROSE CINEMA'S, INC. AND REGAL CINEMA'S, INC. AS RECORDED IN OFFICIAL RECORD 1648, PG. 772 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS G AND H ONLY) - ITEM NO. 35.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A SHORT FORM OF GROUND LEASE AS RECORDED IN OFFICIAL RECORD 863, PG. 415; ASSIGNMENT OF GROUND LEASE AS RECORDED IN OFFICIAL RECORD 1232, PG. 898; MEMORANDUM OF LEASE AS RECORDED IN OFFICIAL RECORD 1232, PG. 903; FIRST AMENDMENT TO LEASE AS RECORDED IN OFFICIAL RECORD 1354, PG. 576; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1242, PG. 767 AND OFFICIAL RECORD 1242, PAGE 773; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1376, PG. 423 AND O.R. 1376, PG. 433; ASSIGNMENTS ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN OFFICIAL RECORD 1557, PG. 420, ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #551721161, MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #54172162, AGREEMENT AS RECORDED IN RECEPTION #55172163, AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55261202, MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #55196010, AGREEMENT AS RECORDED IN RECEPTION #55257621, AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55261201, ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #55261196, GROUND LESSOR'S CONSENT AS RECORDED IN RECEPTION #55287461, GROUND LEASE ESTOPPEL AS RECORDED IN RECEPTION #55261200 AND RE-RECORDED IN RECEPTION #55264313, GROUND LESSOR'S CONSENT AS RECORDED IN RECEPTION #55287461 ALL OF THE SUMMIT COUNTY RECORDS- NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 36.
- MEMORANDUM OF LEASE WITH USE RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND BUILDERS SQUARE, INC., AS RECORDED IN OFFICIAL RECORD 1183, PAGE 430 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENTS IN RECEPTION #54303146, ASSIGNMENTS IN RECEPTION #54303147, FIRST AMENDMENT AS RECORDED IN RECEPTION #54312062 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET- LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 37.
- ITEM NO. 38 IS NOT A MATTER OF SURVEY.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND BRINKER RESTAURANT CORPORATION, AS RECORDED IN OFFICIAL RECORD 1492, PG. 666 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #54967122 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 39.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND ROMANO'S MACARONI GRILL INC., AS RECORDED IN OFFICIAL RECORD 1492, PG. 672 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET- LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 40.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND DICK'S CLOTHING AND SPORTING GOODS, INC., AS RECORDED IN OFFICIAL RECORD 1790, PG. 836 OF THE SUMMIT COUNTY RECORDS - SUBJECT TO AMENDMENTS AND AGREEMENTS RECORDED IN DEED VOLUME 2066, PAGE 888, RECEPTION #54354290, RECEPTION #54354291, RECEPTION #54397277, AND RECEPTION #55142200 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (LEASE OVER EXISTING DICK'S CLOTHING & SPORTING GOODS BUILDING - AFFECTS PARCELS G AND H ONLY) - ITEM NO. 41.
- STORM DRAIN CONNECTION AGREEMENT BY AND BETWEEN MONTROSE DEVELOPMENT, INC., TOYS-R-US-OHIO, INC., AND RED ROOF INNS, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 916 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (LOCATION UNDEFINED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 42.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PG. 928 OF THE SUMMIT COUNTY RECORDS AND A COMMENCEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC. AS RECORDED IN RECEPTION #54015356 OF THE SUMMIT COUNTY RECORDS - ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #55229333 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 43.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND STAPLES INC., AS RECORDED IN RECEPTION #54080607 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - SHOPPING CENTER USES ARE RESTRICTED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 44.
- TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND COST PLUS, INC. AS RECORDED IN RECEPTION #54282180 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY- ITEM NO. 45.
- TERMS, COVENANTS AND RESTRICTIONS CONTAINED IN A SHORT FORM LEASE BETWEEN MONTROSE DEVELOPMENT INC., AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308424 AND THEN RE-RECORDED IN RECEPTION #54410525 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL I ONLY) - ITEM NO. 46 & 48.
- TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM MOTSINGER, AS RECORDED IN RECEPTION #54377422 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 47.

HOPPING CENTER PARKING TALLY
PARCELS "1 - 6"

REGULAR SPACES	= 2158
<u>HANDICAP SPACES</u>	= 49
TOTAL SPACES	= 2207

WORKING MEETS REQUIREMENTS PER COPLEY
OWNERSHIP ZONING APPROVED SITE PLAN.

CURVE DATA

1) CURVE DATA
 DELTA = 18°00'32"
 RADIUS = 371.68'
 TANGENT = 58.90'
 CHORD = 116.34'
 LENGTH = 116.82'
 CHORD BEARING = S12°55'25"W

2) CURVE DATA
 DELTA = 51°35'08"
 RADIUS = 34.89'
 TANGENT = 16.86'
 CHORD = 30.36'
 LENGTH = 31.41'
 CHORD BEARING = S47°43'15"W

3) CURVE DATA
 DELTA = 64°41'16"
 RADIUS = 30.00'
 TANGENT = 19.00'
 CHORD = 32.10'
 LENGTH = 33.87'
 CHORD BEARING = N74°08'33"W

4) CURVE DATA
 DELTA = 01°03'47"
 RADIUS = 75.00'
 TANGENT = 0.70'
 CHORD = 1.39'
 LENGTH = 1.39'
 CHORD BEARING = N42°50'36"W

5) CURVE DATA
 DELTA = 43°56'44"
 RADIUS = 50.00'
 TANGENT = 20.17'
 CHORD = 37.42'
 LENGTH = 38.35'
 CHORD BEARING = N21°24'08"W

6) CURVE DATA
 DELTA = 2°51'16"
 RADIUS = 431.68'
 TANGENT = 10.76'
 CHORD = 21.50'
 LENGTH = 21.51'
 CHORD BEARING = N01°59'23"E

7) CURVE DATA
 DELTA = 111°35'15"
 RADIUS = 25.00'
 TANGENT = 36.78'
 CHORD = 41.35'
 LENGTH = 48.69'
 CHORD BEARING = N33°51'56"W

8) CURVE DATA
 DELTA = 18°30'41"
 RADIUS = 431.68'
 TANGENT = 70.35'
 CHORD = 138.86'
 LENGTH = 139.47'
 CHORD BEARING = N12°40'21"E

9) CURVE DATA
 DELTA = 21°21'55"
 RADIUS = 431.68'
 TANGENT = 81.43'
 CHORD = 160.04'
 LENGTH = 160.97'
 CHORD BEARING = S11°14'43"W

10) CURVE DATA
 DELTA = 4°45'24"
 RADIUS = 1438.25'
 TANGENT = 59.73'
 CHORD = 119.37'
 LENGTH = 119.40'
 CHORD BEARING = N87°51'36"E

11) CURVE DATA
 DELTA = 0°19'42"
 RADIUS = 317.50'
 TANGENT = 0.91'
 CHORD = 1.82'
 LENGTH = 1.82'
 CHORD BEARING = S89°49'23"E

12) CURVE DATA
 DELTA = 4°51'35"
 RADIUS = 1498.25
 TANGENT = 63.58'
 CHORD = 127.04'
 LENGTH = 127.08'
 CHORD BEARING = N87°54'41"E

13) CURVE DATA
 DELTA = 119°07'17"
 RADIUS = 75.00'
 TANGENT = 127.63'
 CHORD = 129.33'
 LENGTH = 155.93'
 CHORD BEARING = N78°09'59"E

14) CURVE DATA
 DELTA = 55°09'00"
 RADIUS = 30.00'
 TANGENT = 15.67'
 CHORD = 27.77'
 LENGTH = 28.88'
 CHORD BEARING = N46°10'51"E

15) CURVE DATA
 DELTA = 16°15'25"
 RADIUS = 317.15'
 TANGENT = 45.30'
 CHORD = 89.69'
 LENGTH = 89.99'
 CHORD BEARING = N81°53'04"E

16) CURVE DATA
 DELTA = 5°41'45"
 RADIUS = 300.00'
 TANGENT = 14.92'
 CHORD = 29.81'
 LENGTH = 29.82'
 CHORD BEARING = N76°09'07"E

17) CURVE DATA
 DELTA = 72°57'22"
 RADIUS = 300.00'
 TANGENT = 221.81'
 CHORD = 356.71'
 LENGTH = 382.00'
 CHORD BEARING = N36°49'34"E

18) CURVE DATA
 DELTA = 3°21'24"
 RADIUS = 371.68'
 TANGENT = 10.89'
 CHORD = 21.77'
 LENGTH = 21.77'
 CHORD BEARING = N02°14'27"E

**EASEMENTS HAVE BEEN PLOTTED FROM CHICAGO TITLE INSURANCE COMPANY
TITLE NO: 555130144 DATED MAY 28, 2013.

Parcel 1 - 0.8357 Acres
PPN 1507081

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in Plat Book 35, Page 51 of the Summit County Records;

Thence N 89o 41' 19" W, along the southerly line of Medina Road (S.R. 18) a distance of 599.99 to a point;

Thence S 00o 33' 45" W, along the easterly line of Flight Memorial Drive as recorded in Rec. #54445914, a distance of 678.51 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence continuing along the easterly line of said Flight Memorial Drive, along the arc of a circle curving to the right, having a central angle of 02° 51' 16", a radius of 431.68 feet, a tangent of 10.76 feet, a chord of 21.50 feet, a chord bearing of S 01° 59' 23" W, and an arc length of 21.51 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning for the parcel of land herein described;

Thence S 89o 38' 53" E a distance of 200.43 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence S 00o 35' 37" W a distance of 169.83 feet to a 5/8" capped rebar found;

Thence N 89o 39' 27" W, along the northerly line of Brookwall Drive (C.H. 538), as recorded in the Rec. # 54315827 of the Summit County Records, a distance of 206.09 feet to 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence continuing along the northerly line of said Brookwall Drive, along the arc of a circle curving to the right having a central angle of 111o 35' 15", a radius of 25.00 feet, a tangent of 36.78 feet, a chord of 41.35 feet, a chord bearing N 33o 51' 56" W, and a arc length of 48.69 feet to 5/8" capped rebar (GBC Design, Inc.) to be set at a point of reverse curvature;

Thence along the easterly line of said Flight Memorial Drive, along the arc of a circle curving to the left having a central angle of 18o 30' 41", a radius of 431.68 feet, a tangent of 70.35 feet, a chord of 138.86 feet, a chord bearing N 12o 40' 21" E, and an arc length of 139.47 feet to a point, which is the True Place of Beginning and containing 0.8357 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

0.83 feet to a 5/8" capped rebar found;
northerly line of Brookwall Drive (C.H. 538),
Summit County Records, a distance of 206.09 feet
et;
line of said Brookwall Drive, along the arc of a circle
of 1110 35' 15", a radius of 25.00 feet, a tangent
bearing N 33o 51' 56" W, and an arc length of 48.00
feet to be set at a point of reverse curvature;
Flight Memorial Drive, along the arc of a circle
180 30' 41", a radius of 431.68 feet, a tangent
bearing N 12o 40' 21" E, and an arc length of 139.00
feet beginning and containing 0.8357 Acres of land, more
or less, in the name of Louis J. Giffels, Registered Surveyor No. 7790, w

Parcel 6 - 12.8681 Acres
PPN 1507109

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in the Plat Book 35, Page 51 of the Summit County Records; Thence S 00o 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 70.18 feet of point; Thence S 00o 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning for the parcel of land herein described; Thence S 00o 46' 51" W, continuing along the westerly line of said Brookmont Acres and also along the westerly Brookmont Acres Replat as recorded in the Plat Book 67, Page 69, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00o 45' 23" W, continuing along westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar found; Thence N 89o 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 00o 40' 21" E a distance of 724.43 feet to a P.K. nail to be set; Thence N 89o 19' 39" W a distance of 164.00 feet to a P.K. nail to be set; Thence N 00o 40' 21" E a distance of 298.12 feet to a P.K. nail to be set; Thence along southerly line of Brookwall Drive (C.H. 538) as recorded in Rec. # 54315827 of the Summit County Records, along the arc of a circle curving to the right, having a central angle of 00o 19' 42", a radius of 317.15 feet, a tangent of 0.91 feet, a chord of 1.82 feet, a chord bearing of S 89o 49' 23" E, and a arc length of 1.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 89o 39' 31" E, continuing along southerly line of said Brookwall Drive, a distance of 259.30 feet to a P.K. nail to be set at a point of curvature; Thence continuing along southerly line of said Brookwall Drive, along the arc of a circle curving to the left, having a central angle of 04o 51' 35", a radius of 1498.25 feet, a tangent of 3.58 feet, a chord of 127.04 feet, a chord bearing of N 87o 54' 41" E, and an arc length of 27.08 feet to a P.K. nail to be set; Thence N 85o 28' 54" E, continuing along the southerly line of Brookwall Drive (S.H. 536) as recorded in Rec. # 54315827 of Summit County Records, a distance of 154.29 to a P.K. nail

o be set at a point of curvature;

Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right, having a central angle of 040 45' 24", a radius of 1438.25 feet, a tangent of 59.73 feet, a chord of 119.37 feet, a chord bearing of N 87° 51' 36" E, and an arc length of 119.40 feet to a point, which is the True Place of Beginning and containing 12.8681 Acres of land, more or less, as surveyed in August, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 2 - 14.6091 Acres
PPN 1507085

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records;

Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;

Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also being the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 621.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Parcel 2 - 14.6091 Acres
PPN 1507085

Parcel 3 - 12.6
PPN 1507

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records;

Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;

Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found;

Thence N 89 58' 10" W a distance of 1160.48 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;

Thence, continuing N 89o 58' 10" W, a distance of 768.81 feet to a 5/8" capped rebar found;

Thence N 00o 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence S 89o 19' 39" E a distance of 193.59 feet to a P.K. nail to be set;

Thence N 00o 40' 21" E a distance of 269.20 feet to a P.K. nail to be set;

Thence N 32o 40' 59" E a distance of 71.69 feet to a P.K. nail to be set;

Thence N 00o 40' 21" E a distance of 32.17 feet to a P.K. nail to be set;

Thence N 57o 19' 01" W a distance of 18.99 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence N 16o 41' 45" W a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence along the southerly line of Springside Drive (70' wide), as recorded in Cabinet G, des 940-943 of the Summit County Records, along the arc of a circle curving to the right being a central angle of 050° 41' 45", a radius of 300.00 feet, a chord of 29.81 feet, a chord bearing N 76° 09' 07" E, and an arc length of 29.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence N 79° 00' 00" E, continuing along the southerly line of said Springside Drive, a distance of 414.44 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence S 89° 25' 45" E, continuing along the southerly line of said Springside Drive, a distance of 47.00 feet to a point;

Thence S 00° 40' 21" W a distance of 482.62 feet to a P.K. nail to be set;

Thence S 89° 19' 39" E a distance of 79.67 feet to a Drill Hole to be set;

Thence S 00° 40' 21" W a distance of 431.69 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning and containing 12.6763 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

Parcel 4 - 1.4401 Acres
PPN 1505314

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

county records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 89 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described; Thence, continuing N 89o 58' 10" W, a distance of 665.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 00o 40' 21" E a distance of 431.69 feet to a P.K. nail to be set; Thence N 89o 19' 39" W a distance of 79.67 feet to a P.K. nail to be set; Thence N 00o 40' 21" E a distance of 482.62 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 89o 25' 45" E, along the southerly line of Springside Drive (70' wide) as recorded in cabinet G, slides 940-943 of Summit County Records, a distance of 78.36 feet to a 5/8" capped rebar found at a point of curvature; Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the right having a central angle of 470 09' 23", a radius of 50.00 feet, a tangent of 21.82 feet, a chord of 40.00 feet, a chord bearing S 65o 51' 03" E, and an arc length of 41.15 feet to a 5/8" capped rebar found at a point of reverse curvature; Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the left having a central angle of 119o 07' 17", a radius of 75.00 feet, a tangent of 27.63 feet, a chord of 129.33 feet, a chord bearing N 78o 09' 59" E, and an arc length of 155.93 feet to a 5/8" capped rebar found; Thence along the southerly line of Brookwall Drive(C.H. 538), as recorded in Rec. # 4315827 of the Summit County records, along the arc of a circle curving to the right having a central angle of 55o 09' 00", a radius of 30.00 feet, a tangent of 15.67 feet, a chord of 27.77 feet, a chord bearing N 46o 10' 51" E, and an arc length of 28.88 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;

Thence N 73° 45' 21" E, continuing along the southerly line of said Brookwall Drive, a distance of 241.71 feet to a P.K. nail to be set at a point of curvature;

Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right having a central angle of 160° 15' 25", a radius of 317.15 feet, a tangent of 5.30 feet, a chord of 89.69 feet, a chord bearing N 81° 53' 04" E, and an arc length of 89.99 feet a P.K. nail to be set;

Thence S 00° 40' 21" W a distance of 298.12 feet to a P.K. nail to be set;

Thence S 89° 19' 39" E a distance of 164.00 feet to a P.K. nail to be set;

Thence S 00° 40' 21" W a distance of 724.43 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point, which is the True Place of Beginning and containing 14.6091 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.

Parcel 5 - 2.7917 Acres
PPN 1507084

ated in the Township of Copley, County of Summit, State of Ohio and known as being part
inal Lot 3 of said Township and more fully described as follows:

inning at the centerline intersection of Springside Drive (80' wide) as recorded in Cabinet
es 940-943 in the Summit County Records and Medina Road (S.R. 18)(witnessed by a drill
nd S 00 34' 15" W at a distance of 30.00 feet);
nce S 00° 34' 15" W, along the centerline of said Springside Drive, a distance of 481.16
point;
nce N 89 25' 45" W a distance of 40.00 feet to a 5/8" capped rebar found at the True Place

nn for the parcel of land herein described;
nce S 00o 34' 15" W, along the westerly line of said Springside Drive, a distance of 496.33
5/8" capped rebar found at a point of curvature;
nce along the northerly line of said Springside Drive, along the arc of a circle curving to
t, having a central angle of 900 00' 00", a radius of 25.00 feet, a tangent of 25.00 feet, a
f 35.36 feet, a chord bearing of S 45o 34' 15" W, and an arc length of 39.27 feet to a 5/8"
rebar found at a point of tangency;
nce N 89o 25' 45" W, continuing along the northerly line of said Springside Drive (70'
distance of 159.11 feet to a 5/8" capped rebar found;
nce N 11o 00' 00" W a distance of 400.00 feet to a 5/8" capped rebar found;
nce N 65o 04' 02" W a distance of 47.13 feet to a 5/8" capped rebar found;
nce N 31o 03' 40" E, a distance of 71.35 feet to a 5/8" capped rebar found;
nce along the arc of a circle curving to the right, having a central angle of 32o 39' 06", a
f 300.00 feet, a tangent of 87.87 feet, a chord of 168.66 feet, a chord bearing of N 74o 00'
and a arc length of 170.96 feet to a 5/8" capped rebar found at a point of tangency;
nce S 89o 40' 00" E, a distance of 109.41 feet to a point which is the True Place of
ing and containing 2.7917 Acres of land, more or less, as surveyed in November, 2000 by
Giffels, Registered Surveyor No. 7790, with CRC Design, Inc.

ER WITH THE EASEMENT AS FILED FOR RECORD IN VOLUME 2034, PAGE 988 AND AMENDED IN
MENT NO. 54186629; RECIPROCAL EASEMENT AND OPERATION AGREEMENT FILED FOR RECORD
UME 1020, PAGE 741; AND VOLUME 1020, PAGE 665 OF SUMMIT COUNTY RECORDS.

GBC

PERA MONTROSE, INC.

**MARKET SQUARE AT MONTROSE
COPILEY, OHIO**

DR
MA

DRA

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