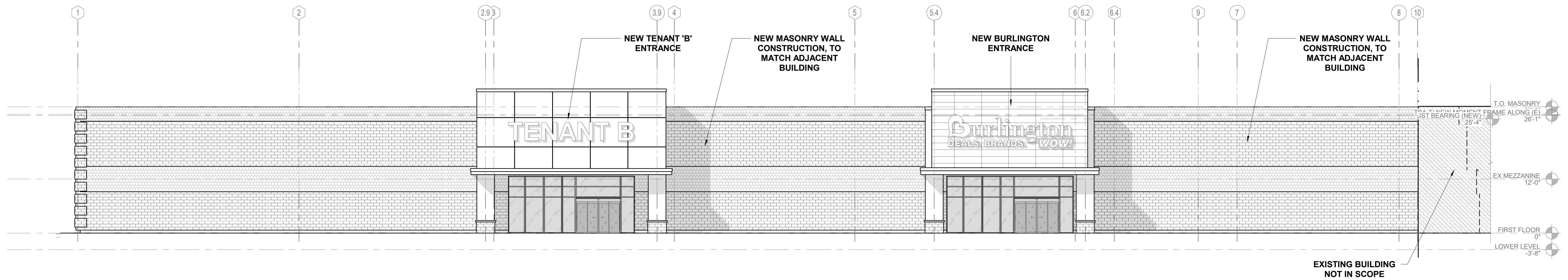


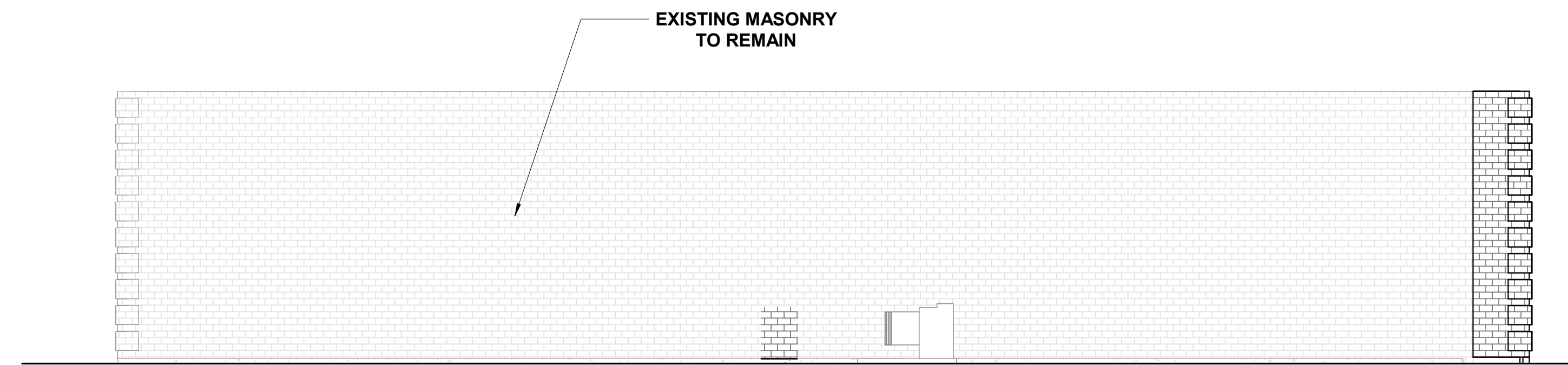
1. Major Site Plan: 4014 Medina Road

Documents:

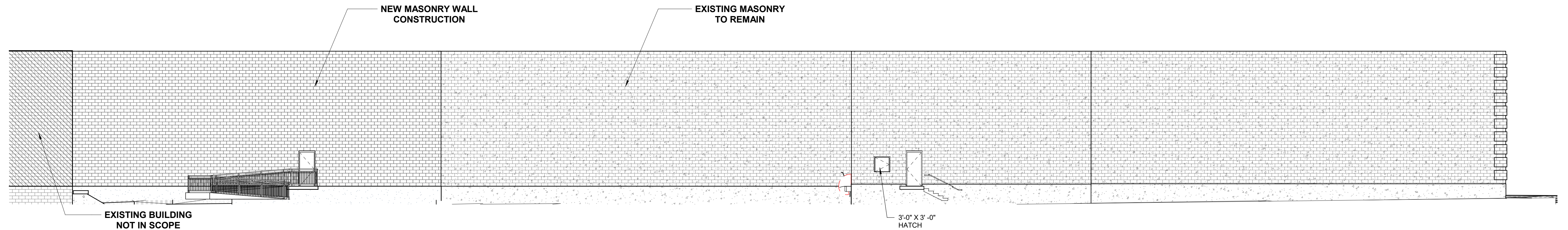
[4014_MEDINA_ROAD_P_Z_REVIEW_-_ARCHITECTURAL_DRAWINGS.PDF](#)
[4014_MEDINA_ROAD_P_Z_REVIEW_-_CIVIL_SITE_DRAWINGS.PDF](#)
[MARKET_SQUARE_2013_ALTA_SURVEY-SIGNED_2013-07-19.PDF](#)



EXTERIOR ELEVATION
3/32" = 1'-0"



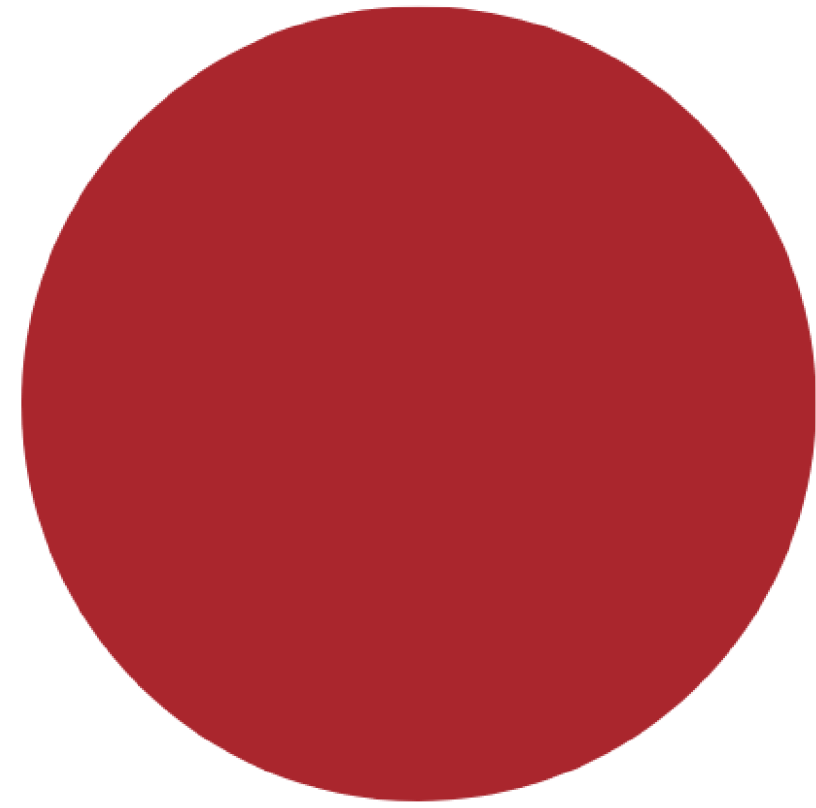
EXTERIOR ELEVATION
3/32" = 1'-0"



EXTERIOR ELEVATION
3/32" = 1'-0"

REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN ELEVATION | 12.5.2025



NICHIHA ILLUMINATION PANEL : CUSTOM BURLINGTON RED



ALUCOBOND EYEBROW CANOPY PROJECTION



EIFS, SW7009 PEARLY WHITE

PRE-FINISHED METAL
CONTINUOUS CLEAT COPING
BY PAC-CLAD OR ATAS.
COLOR TO MATCH EXISTING

NICHIHA ILLUMINATION PANELS
CUSTOM BURLINGTON RED
(HORIZONTAL ORIENTATION)
PANELS 1'-6" X 6'-0" WIDE

STORE SIGNAGE,
(UNDER SEPERATE PERMIT)



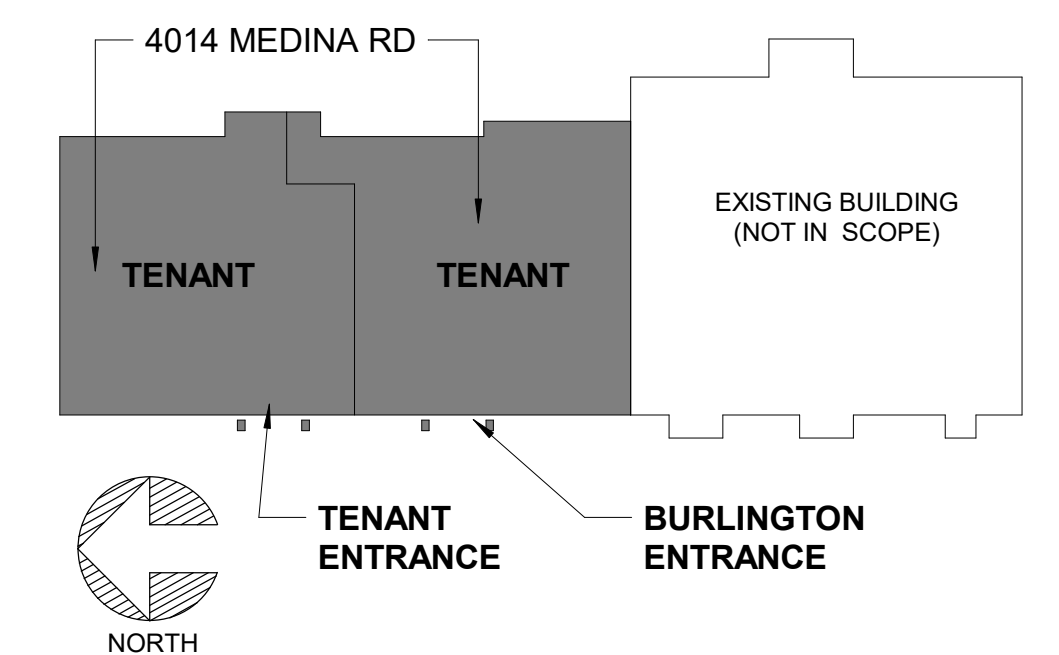
ENLARGED EXTERIOR ELEVATION - FRONT FACADE
1/4" = 1'-0"



EXISTING PHOTO

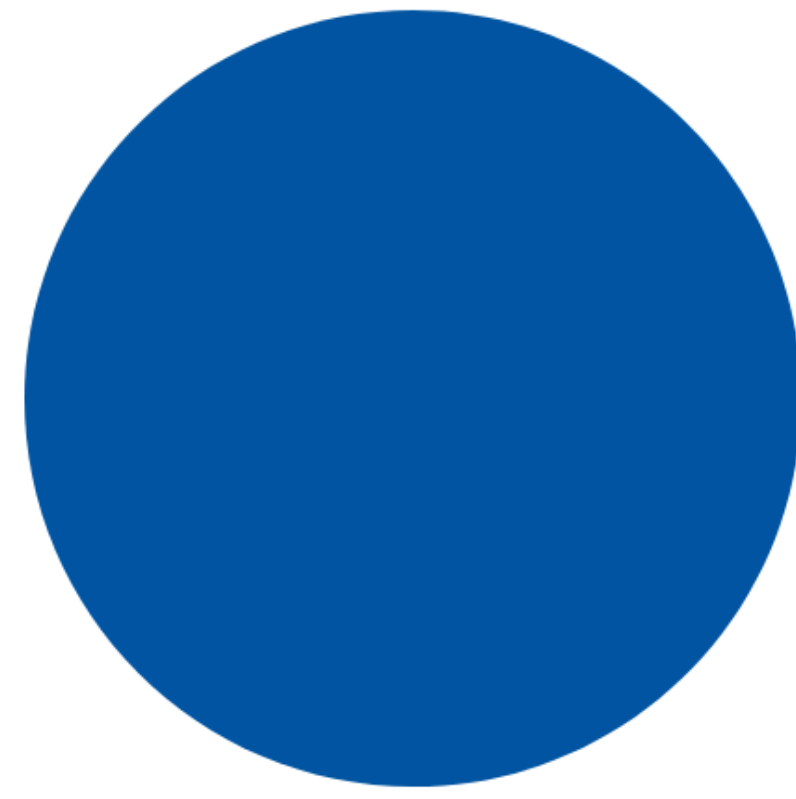


3D View 2



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025



SIGNAGE, PARAPET, TRIM; ORACAL 7500 #006 INTENSE BLUE



EIFS WHITE; SW7006 EXTRA WHITE



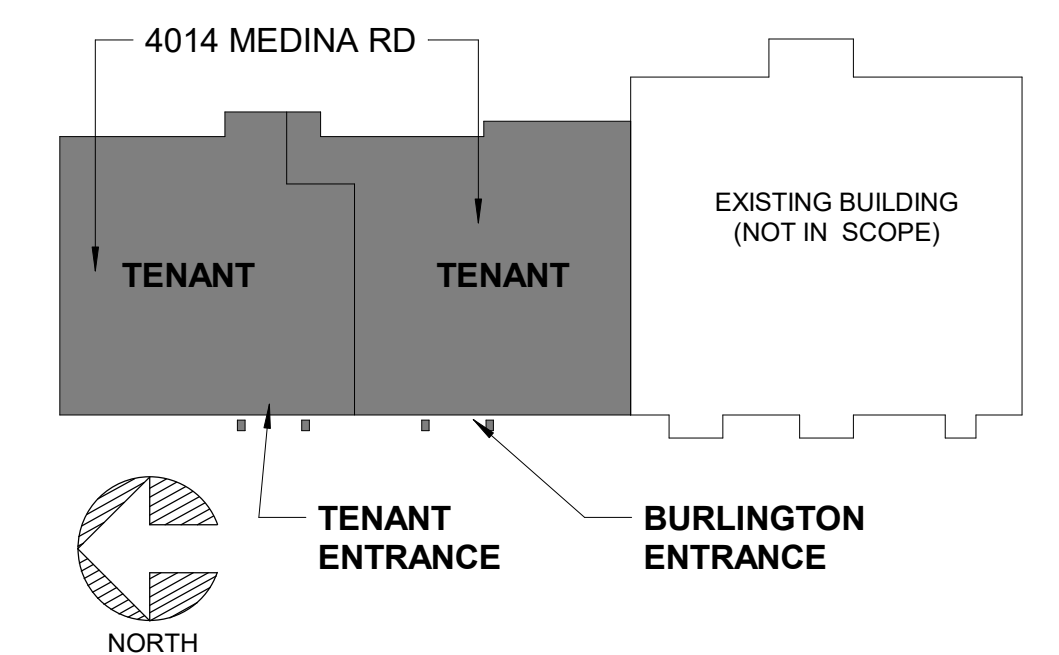
EXTERIOR ELEVATION - FRONT FACADE - TENANT B
1/4" = 1'-0"



EXISTING PHOTO



3D View 3

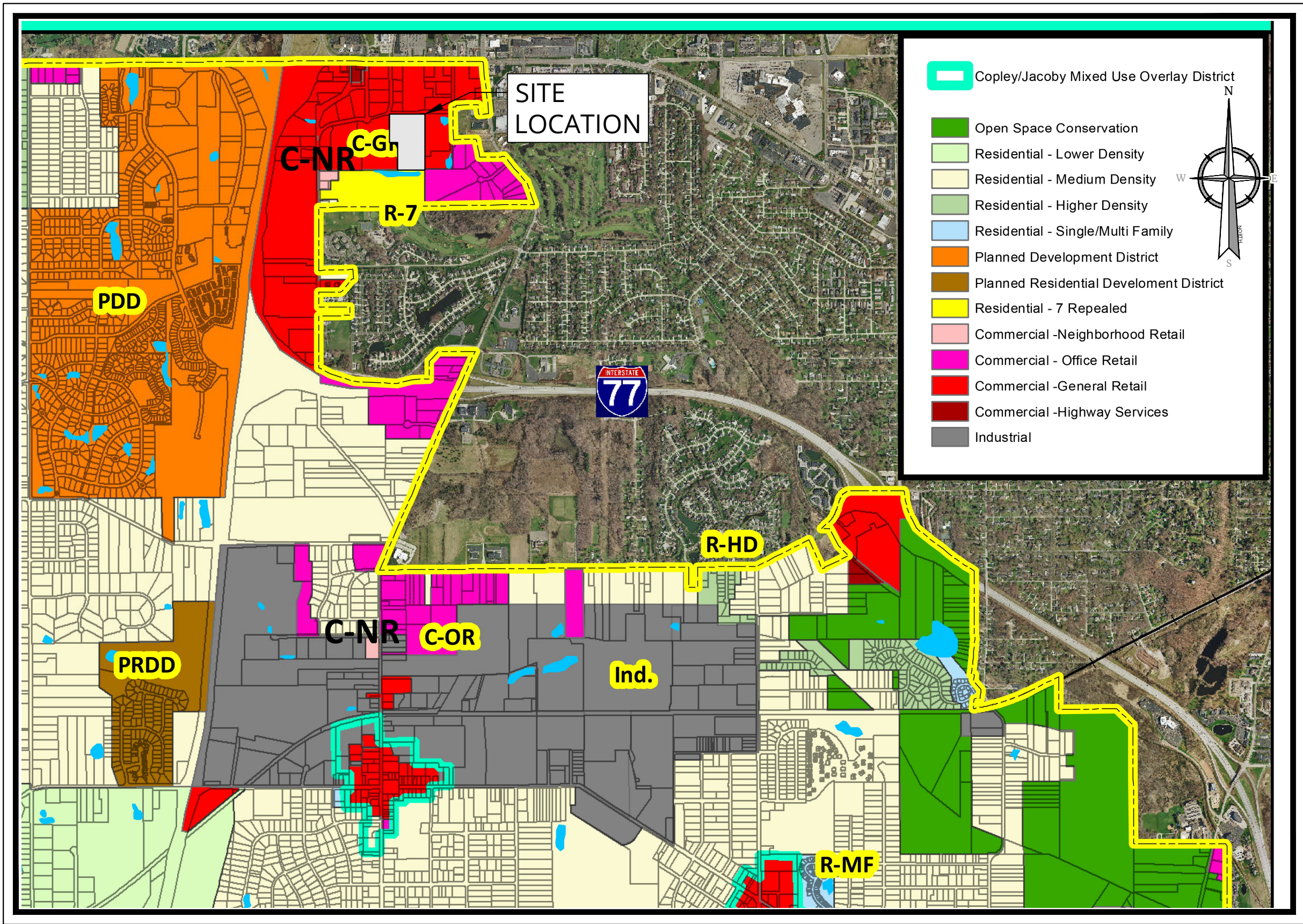


REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025

PROPERTY OWNERS WITHIN 200 FT.

SITE PLANS
FOR
PHASE ZERO DESIGN, INC.
BURLINGTON & ROSS TURNKEY FIT OUT
RENOVATION
PARCEL ID# 1507082
COPLEY TOWNSHIP
SUMMIT COUNTY, OH



KEY & ZONING MAP

SOURCE:

OWNER/APPLICANT:
NAME:

ADDRESS:
PHONE:

INDEX OF SHEET

DESCRIPTION	SHT. No.
COVER SHEET	C-100
DEMOLITION PLAN	C-200
DIMENSION PLAN	C-300
TRUCK TURN PLAN	C-301
GRADING PLAN	C-400
UTILITY PLAN	C-500
PROFILES	C-600
SOIL EROSION & SEDIMENT CONTROL PLAN	C-700
SOIL EROSION & SEDIMENT CONTROL DETAILS	C-701
LANDSCAPE PLAN	C-800
LIGHTING PLAN	C-801
LANDSCAPE & LIGHTING DETAILS	C-802
CONSTRUCTION DETAILS	C-900

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF COPLEY AT THE
REGULAR MEETING OF _____ DATE _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

GENERAL INFORMATION

BULK TABLE			
COPLEY TOWNSHIP			
GENERAL RETAIL COMMERCIAL DISTRICT (C-GR)			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	N/A	N/A
MAXIMUM LOT AREA	N/A	N/A	N/A
MINIMUM LOT WIDTH	N/A	262.35 FT.	262.35 FT.
MINIMUM LOT DEPTH	N/A	612.47 FT.	612.47 FT.
PRINCIPAL BUILDING SETBACKS (ARTICLE 4.01.F.1-4)			
MINIMUM FRONT YARD	25 FT.	9.1 FT.	8.1 FT.
MINIMUM REAR YARD	50 FT.	81.9 FT.	81.9 FT.
MINIMUM SIDE YARD	25 FT.	30.8 FT.	34.1 FT.
MINIMUM SIDE YARD IF ADJACENT TO RESIDENTIAL DISTRICT	50 FT.	N/A	N/A
MAXIMUM BUILDING HEIGHT (ARTICLE 4.01.F.5)			
	35 FT.		
MAXIMUM FLOOR AREA RATIO			
	N/A	N/A	N/A
MAXIMUM LOT COVERAGE			
	N/A	N/A	N/A
PARKING & LOADING (ARTICLE 9)			
MIN. PARKING, LOADING & DRIVEWAY SETBACK	20 FT.	N/A	N/A
1 PARKING SPACE / 250 GSF	317 SPACES	595 SHARED SPACES	595 SHARED SPACES
3 LOADING SPACES FOR COMMERCIAL USES >30,000 SF AND <90,000 SF	3 SPACES		
1 BICYCLE PARKING SPACE / 5,000 GSF OR 2	16 SPACES	0 SPACES	0 SPACES
FENCES & WALLS (ARTICLE 6.01.BB)			
R.O.W. SETBACK	10 FT.	N/A	N/A
MAXIMUM FENCE HEIGHT	6 FT.	N/A	N/A
SIGNS (ARTICLE 8)			
GROUND SIGN 1 PER 500 LF OF STREET FRONTAGE OR FRACTION THEREOF	1	0	0
FRONT SETBACK	10 FT.	N/A	N/A
MAXIMUM SIGNAGE AREA	30 S.F.	N/A	N/A
MAXIMUM SIGNAGE HEIGHT	8 FT.	N/A	N/A
WALL SIGN 1 PER BUILDING	1	3	3
MAXIMUM WALL SIGN AREA	40 S.F.		

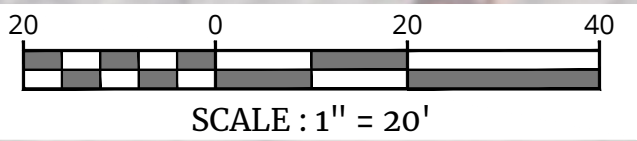
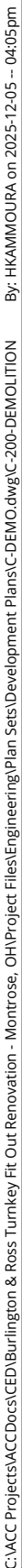
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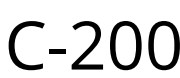
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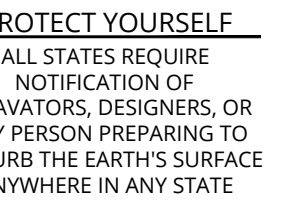


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REV	DATE	DESCRIPTION
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FOR STATE SPECIFIC DIRECT PHONE NUMBERS
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BURLINGTON&ROSS
TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

BURLINGTON
RENOVATION PROJECT

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO



TOLEDO (BA)

3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567.318.1531
IERS ENGINEERING & DESIGN, INC.

SCALE:

DRAWN BY:

AS SHOWN

HMK

DESIGNED BY:

BY:

HMK

DJF

DATE ISSUED:

PROJECT NUMBER:

11/03/202

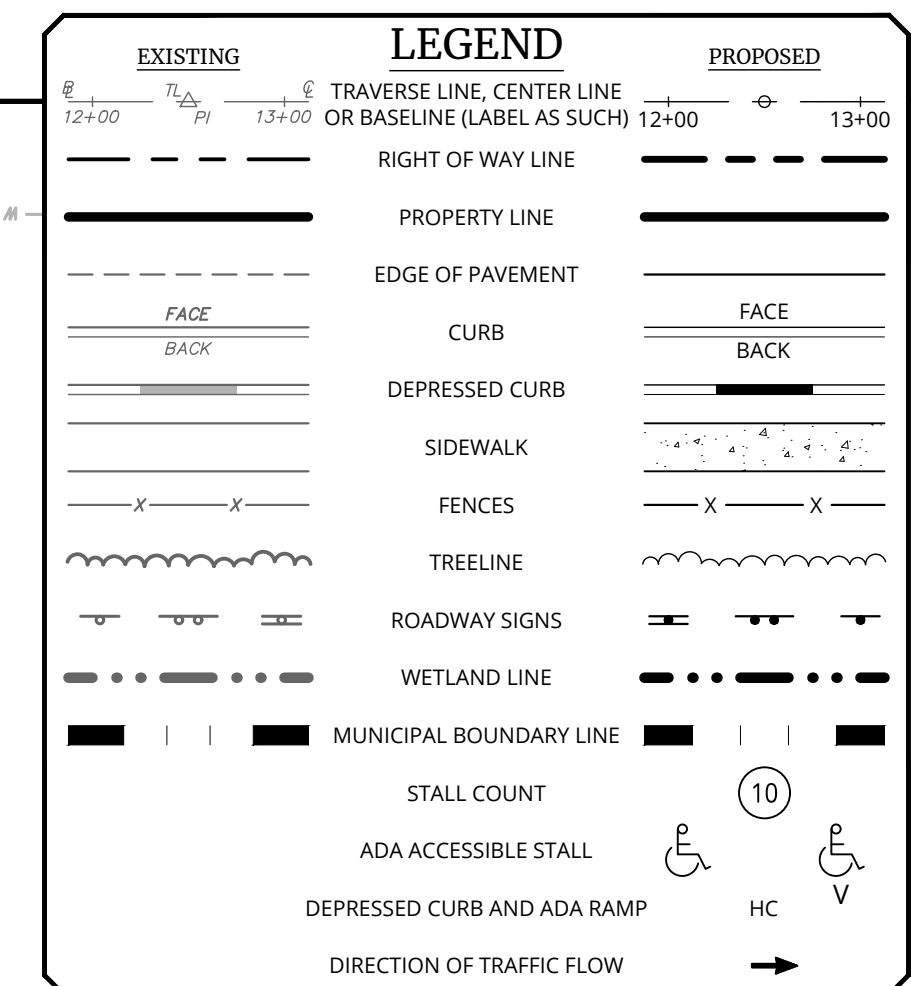
25004311A

DIMENSION PLAN

DRAWING NUMBER:

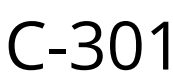
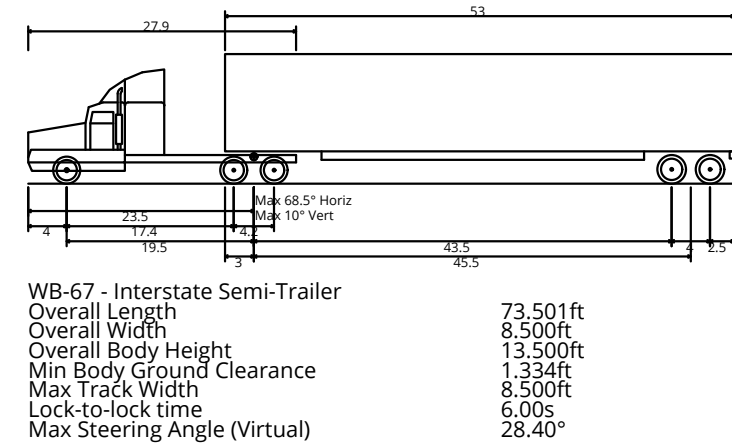
C-300

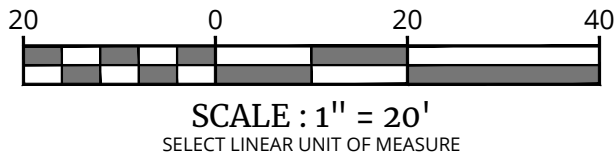
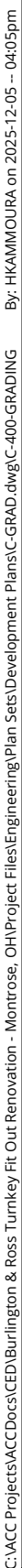
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SCALE : 1" = 20'

W:\ACCC Projects\ACCC Docs\CED\Burlington & Ross Turnkey Fit Out Renovation - Montrrose, OH\Project Files\Engineering\Plan Sets\Development Plans\C-LAYT.dwg\AC-300-LAYOUT





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4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

EXISTING		LEGEND	PROPOSED	
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)			
	RIGHT OF WAY LINE			
	PROPERTY LINE			
	EDGE OF PAVEMENT			
	CURB			
	DEPRESSED CURB			
	SIDEWALK			
	FENCES			
	TREELINE			
	ROADWAY SIGNS			
	WETLAND LINE			
	MUNICIPAL BOUNDARY LINE			
	'B' INLET			
	'E' INLET			
	STORM MANHOLE			
	SANITARY MANHOLE			
	FLARED END SECTION			
	HEADWALL			
	HYDRANT			
	POLE MOUNTED LIGHT			
	CONTOURS			
	SPOT ELEVATION			
	DIRECTION OF OVERLAND FLOW			
	TOP OF CURB ELEVATION			
	BOTTOM OF CURB ELEVATION			
	TOP OF DEPRESSED CURB ELEVATION			

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Maumee, OH 43537
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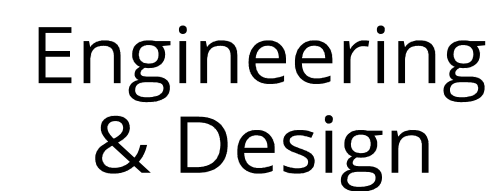
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AS SHOWN	HMK
DESIGNED BY:	REVIEWED BY:
HMK	DJF
DATE ISSUED:	PROJECT NUMBER:
11/03/2025	25004311A

GRADING PLAN

DRAWING NUMBER:

C-400

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BURLINGTON&ROSS
TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

BURLINGTON
RENOVATION PROJECT

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO



3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567.318.153
COLLIERS ENGINEERING & DESIGN, INC.

AS SHOWN

DESIGNED BY:
HMK

DATE ISSUED:
11/03/2025

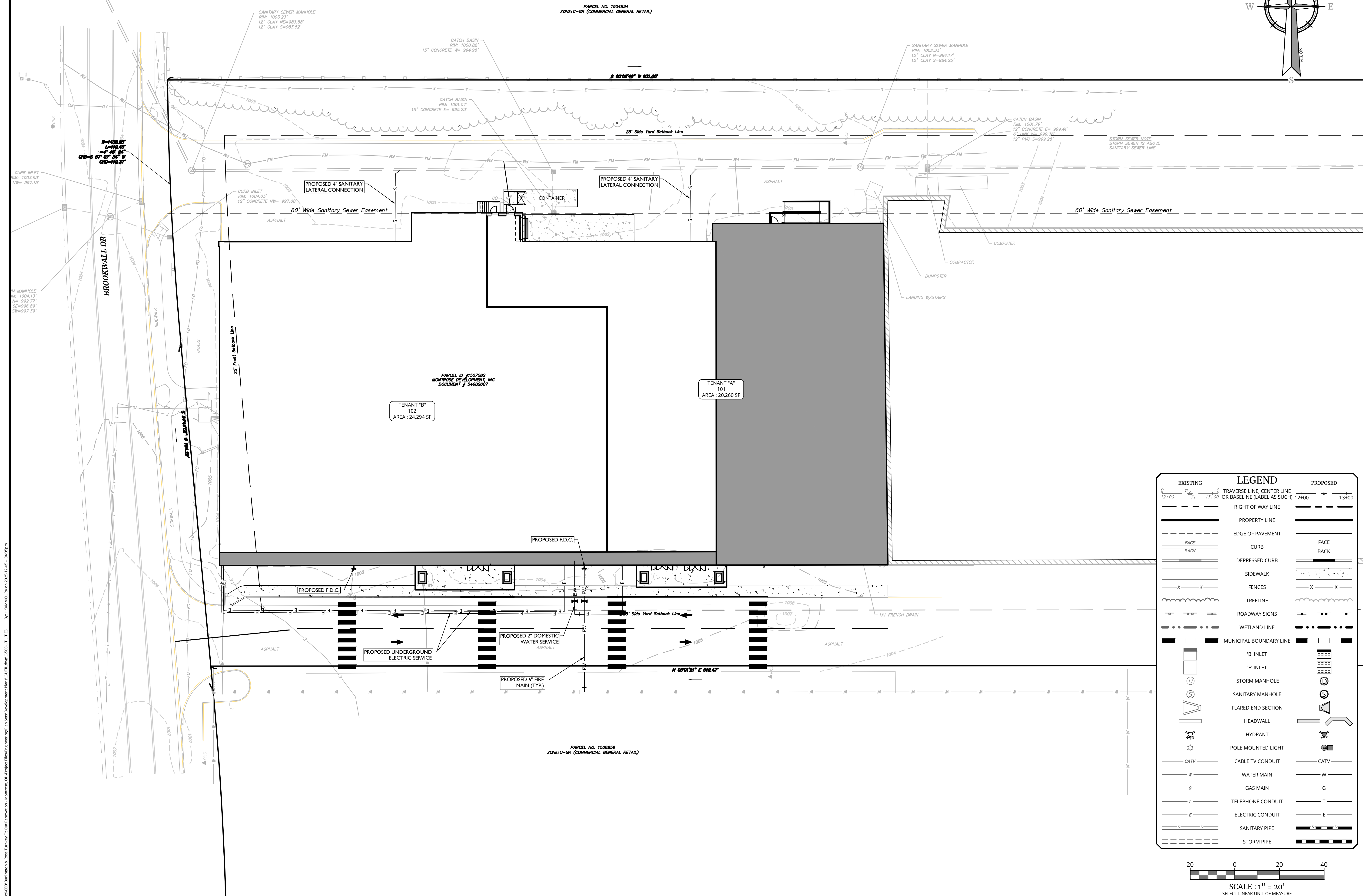
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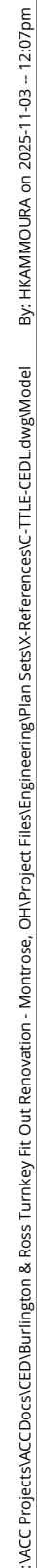
PROJECT NUMBER:
25004311A

UTILITIES PLAN








C-500



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



SESC LEGEND:

	REFERS TO THE APPROPRIATE S.E.S.C. KEYING SYSTEM DETAIL
	LIMITS OF EARTH DISTURBANCE (1.76 ACRES)
	SILT FENCE
	S.E.S.C. SOIL BOUNDARY
	INLET PROTECTION
	CONSTRUCTION ENTRANCE
	PROPOSED SEED AREA

SEQUENCE OF CONSTRUCTION NOTES:

- CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE OWNER. MAINTENANCE RESPONSIBILITIES SHALL BECOME A PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE LOCATED.

CONTRACTOR IS TO CONTACT THE SUMMIT COUNTY OFFICE AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SOIL EROSION CONTROL MEASURES. CONSTRUCTION, SECC MEASURES SHOULD BE CHECKED DAILY AND AFTER STORM EVENTS FOR EFFECTIVENESS. OWNER SHALL MAINTAIN ALL PERMANENT SECC MEASURES AFTER CONSTRUCTION IS COMPLETE. ALL SECC MEASURES SHALL BE CHECKED MONTHLY FOR ONE YEAR FOR EFFECTIVENESS. ANY MEASURES THAT HAVE FAILED SHALL BE REPAIRED AND/OR REPLACED.

ALL TEMPORARY S.E.C. MEASURES SHALL BE MAINTAINED 30 DAYS AFTER CONSTRUCTION IS COMPLETE OR UNGRADED AREAS ARE STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING TEMPORARY SECC MEASURES.

ALL GRADED AREAS EXPOSED FOR MORE THAN 20 DAYS SHALL HAVE STRAW MULCH APPLIED AT THE RATE OF ONE (1) ACRE AREAS NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN ONE YEAR MUST BE AND MULCHED WITH QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. AREAS WHICH ARE AT FINISHED GRADE AND WILL NOT BE DISTURBED FOR A YEAR MUST BE SEEDED AND MULCHED WITH A PERMANENT SEEDING MIXTURE.

ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE FOR GRADING AND TO CONSTRUCT SEDIMENT BASINS, DRAIN TRAPS, DIVERSION TERRACES, INTERCEPT CHANNELS, AND/OR OF CONVEYANCE AS APPROPRIATE.

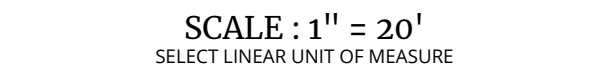
EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE DISTURBANCE WITH THE TRIBUTARY AREAS OF THOSE CONTROLS.

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL ON A DAILY BASIS AND AFTER EACH STORM EVENT. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.

CONTACT INFORMATION FOR THE ON-SITE EXCAVATING CONTRACTORS, HAULING CONTRACTORS, ETC., AND COMPANY, INCLUDING OFFICE, MOBILE AND FAX PHONE NUMBERS, SHALL BE SUBMITTED TO THE SUMMIT COUNTY PRIOR TO COMMENCEMENT OF EARTH DISTURBANCE.

APPROVAL OF THE SOIL EROSION PERMIT DOES NOT AUTHORIZE ANY EARTH DISTURBANCE ACTIVITY OFF-SITE WITHOUT WRITTEN PERMISSION FOR THAT EARTH DISTURBANCE ACTIVITY FROM THE LANDOWNER.

NO DISTURBANCE IS PLANNED FOR THIS PROJECT. IF DISTURBANCE IS REQUIRED, THE CONTRACTOR SHALL S DEVELOPING PLAN FOR APPROVAL TO THE SUMMIT COUNTY OFFICE AND/OR THE OHIO EPA AS REQUIRED, DISTURBANCE SHALL COMMENCE UNTIL APPROVAL HAS BEEN OBTAINED.



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

- UN-EXCAVATED SOIL
- EXCAVATED SOIL (MIN CBR: 4)
- ASPHALT
- CONCRETE

CLEANING/ MAINTENANCE

- SKID-STEER BROOM ATTACHMENT
- STREET SWEEPER (REQUIRES ADJUSTED BRISTLE HEAD)
- PRESSURE WASHER (MUST HAVE ABILITY TO CONTAIN WATER) WATER TRUCK (MUST HAVE ABILITY TO CONTAIN WATER)

SUITABLE INSTALLATION SUBSTRATE

SILT FENCE
SCALE: NONE

MAX. DRAINAGE AREA PER 100' OF SILT FENCE

MAX. DRAINAGE AREA PER 100' OF SILT FENCE	RANGE OF SLOPE FOR DRAINAGE AREA
0.5 ACRES	< 2%
0.25 ACRES	≥ 2% BUT < 20%
0.125 ACRES	≥ 20% BUT < 50%

FRONT VIEW

2X2 FENCE POST DRIVEN INTO GROUND 1' MIN.
10' MAX. SPACING
LEVEL CONTOUR NO SLOPE
16" MIN.
6" ANCHOR TRENCH
SUPPORT FENCE

PLAN VIEW

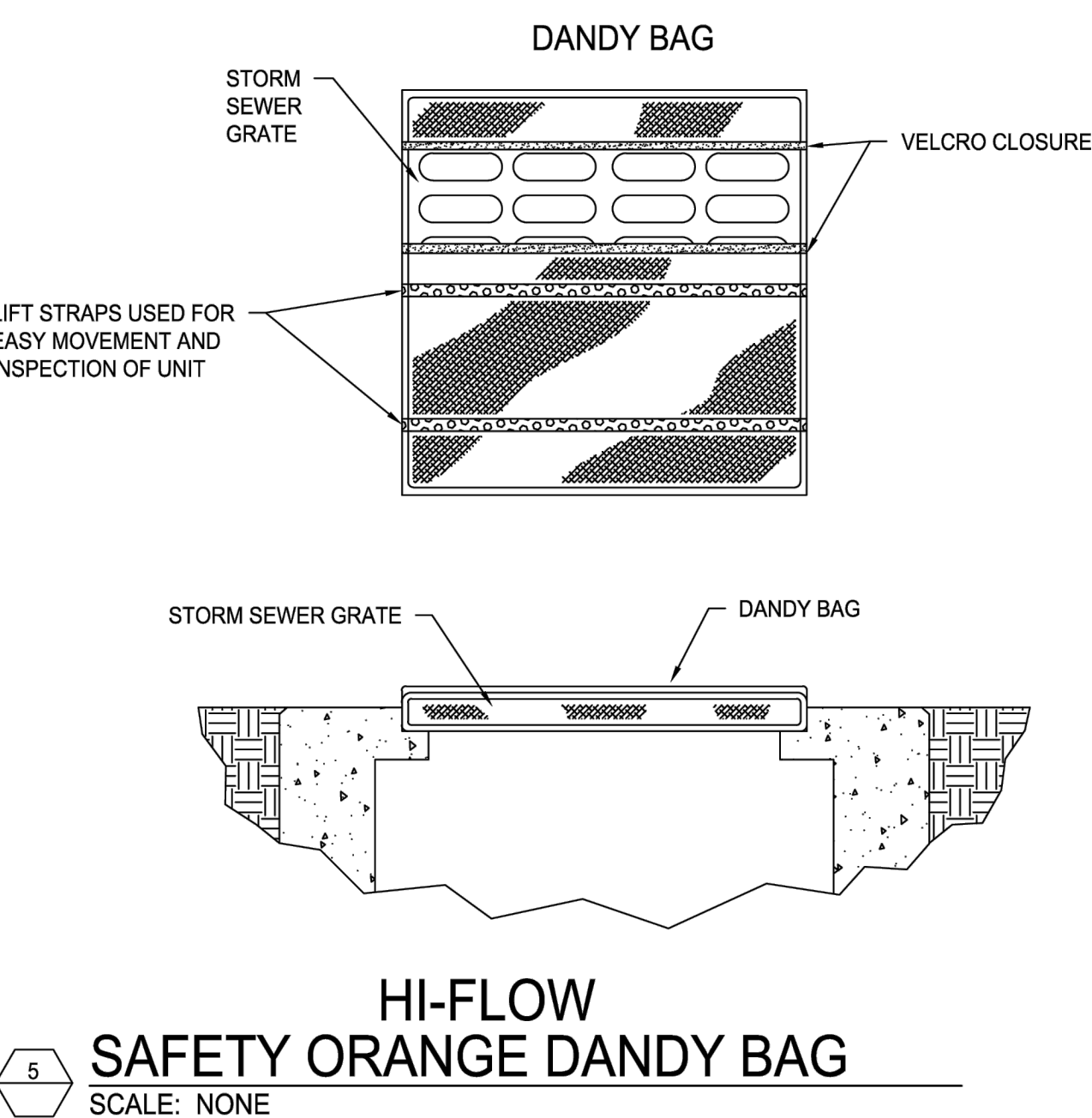
DETAIL 1
SILT FENCE JOINT
SHEET FLOW
COMPACTED EARTH
UNDISTURBED VEGETATION
SILT FENCE A
SILT FENCE B
SILT FENCE JOINT
SILT FENCE A COUPLER

SECTION A-A

GEOTEXTILE FILTER FABRIC FASTENED ON UPHILL SIDE TOWARDS EARTH DISRUPTION
RIDGE OF COMPACTED EARTH ON UPHILL SIDE OF FILTER FABRIC
SHEET FLOW
16" MIN.
6"x6" ANCHOR TRENCH TO BE BACKFILLED AND COMPACTED
UNDISTURBED VEGETATION

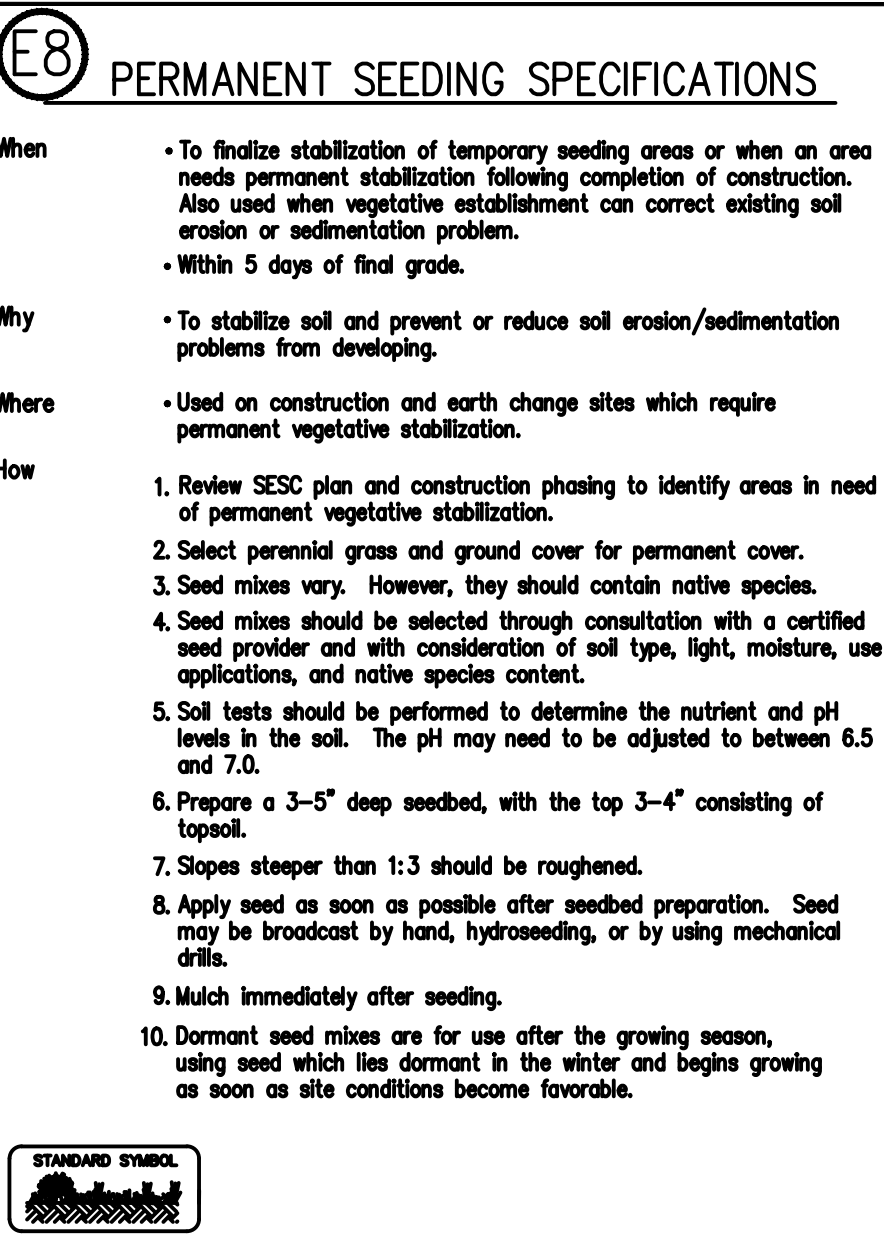
MINIMUM CRITERIA FOR SILT FENCE FABRIC

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS (535 N)	ASTM D 4832
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4832
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤ 0.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10-2 SEC. -1	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355



(E6) MULCHING SPECIFICATIONS

When	• When areas are subject to erosive surface sheet flows or severe wind.
Why	• Temporarily protects seeded areas and slopes against erosion from rain or wind. Holds soil moisture to allow for seed germination and reduces wind desiccation of germinated seeds. Inhibits seed consumption by birds.
Where	• Use on exposed slopes, newly seeded areas and other areas subject to erosion.
How	<ol style="list-style-type: none">1. Other surface runoff control measures should be installed prior to mulching.2. Prepare surface to proper grade and compaction requirements.3. If treatment area is to be revegetated immediately, spread or drill seed, or install vegetative sprigs into planting surface.4. Select mulch material appropriate for site characteristics, including grade, level of traffic, installation method, and accessibility. <p>Straw – Most common and widely used material. Provides organic matter as it breaks down. Effectiveness of sediment reduction high for at least 3 months. Subject to windblow and washout. For straw, apply a minimum of 2 tons/acre or approx. 50 lbs./1000 sq.ft. to cover the surface. Increase application rates 50% for dormant seeding.</p> <p>Rock – Crushed stone and gravel maintain effectiveness indefinitely if maintained to repair compaction. Cover 2–3" in depth (approx. 2.27 tons/1000 sq. ft.).</p> <p>Wood chips/bark – Chips decompose slowly but may require nitrogen fertilizer application to avoid nutrient deficiency. Tend to wash down slopes over 6% and may clog inlet grates. Cover 2–3" in depth.</p> <ol style="list-style-type: none">5. Mulches should not be applied if free surface water is present but may be applied to wet soil.



PERMANENT SEEDING SPECIFICATIONS

E8

low cont.)	11. Protect seeded areas from pedestrian or vehicular traffic.
	12. Divert concentrated flows away from the seeded area until vegetation is established.
maintenance	<ul style="list-style-type: none">• Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.• Add supplemental seed as necessary.
limitations	<ul style="list-style-type: none">• Seeds need adequate time to establish.• May not be appropriate in areas with frequent traffic.• Seeded areas may require irrigation during dry periods.• Seeding success is site specific, consider mulching or sodding when necessary.

E-8

PERMANENT SEEDING

Planting Zones:	Lower Peninsula (South of T204) Zone 1	Lower Peninsula (North of T204) Zone 2	Upper Peninsula Zone 3
<u>Seeding Window</u> Perennial Seedlings	4/15 – 10/10	5/1 – 10/1	5/1 – 9/20
<u>Seeding Window</u> Perennial Seedlings	1/15 – Freeze	1/01 – Freeze	1/01 – Freeze


Source: Adapted from ODOT Interim 2003 Standard Specifications for Construction

	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
<u>Seeding Dates</u> (with Irrigation or Mule)	4/1 – 8/1	5/1 – 9/20	5/1 – 9/10
<u>Seeding Dates</u> (w/o Irrigation or Mule)	4/1 – 5/20 8/10 – 10/1	5/1 – 6/10 or 8/1 – 9/20	5/1 – 6/10 or 8/1 – 9/20
<u>Dormant Seeding Dates</u>	11/1 – Freeze	10/25 – Freeze	10/25 – Freeze

Source: Adapted from USDA NRCS Technical Guide #342 (1999)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

- Mule must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.



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**BURLINGTON&ROSS
TURNKEY FIT OUT**

**MAJOR SITE PLAN
PARCEL ID#1507082**

**BURLINGTON
RENOVATION PROJECT**

**4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO**

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SOIL MANAGEMENT & PREPARATION PLAN

DRAWING NUMBER:

C-701

FOR LEGAL DESCRIPTIONS SEE SHEET 3 OF 3

FLOOD PLAIN DATA
PARCEL IS IN FLOOD ZONE C (OUTSIDE OF 500 YEAR FLOOD)
PER COUNTY OF SUMMIT UNINCORPORATED AREAS COMMUNITY
PLAN NO. 3907810105 B DATED APRIL 15, 1981

PARCEL ZONING: C-4 (SHOPPING CENTERS)

BUILDING SETBACK

FRONT = 50'
REAR = 25'
SIDE = 50'

ALL BUILDINGS SHOWN MEET THE REQUIRED
SETBACK AND ZONING REQUIREMENTS

SCALE: 1"=100'

SITUATED IN
COPLEY TOWNSHIP
COUNTY OF SUMMIT
STATE OF OHIO
PART OF ORIGINAL LOT 3

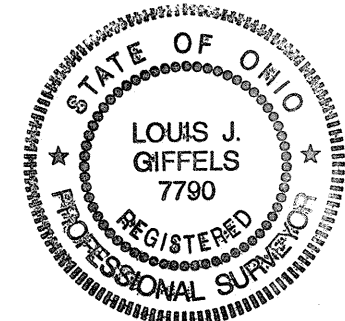
PARCEL "1"	=	0.8357 AC.
+ PARCEL "6"	=	12.8681 AC.
+ PARCEL "2"	=	14.6091 AC.
+ PARCEL "3"	=	12.6763 AC.
+ PARCEL "4"	=	1.4401 AC.
+ PARCEL "5"	=	2.7917 AC.
TOTAL AREA	=	45.2210 AC.

CERTIFICATION

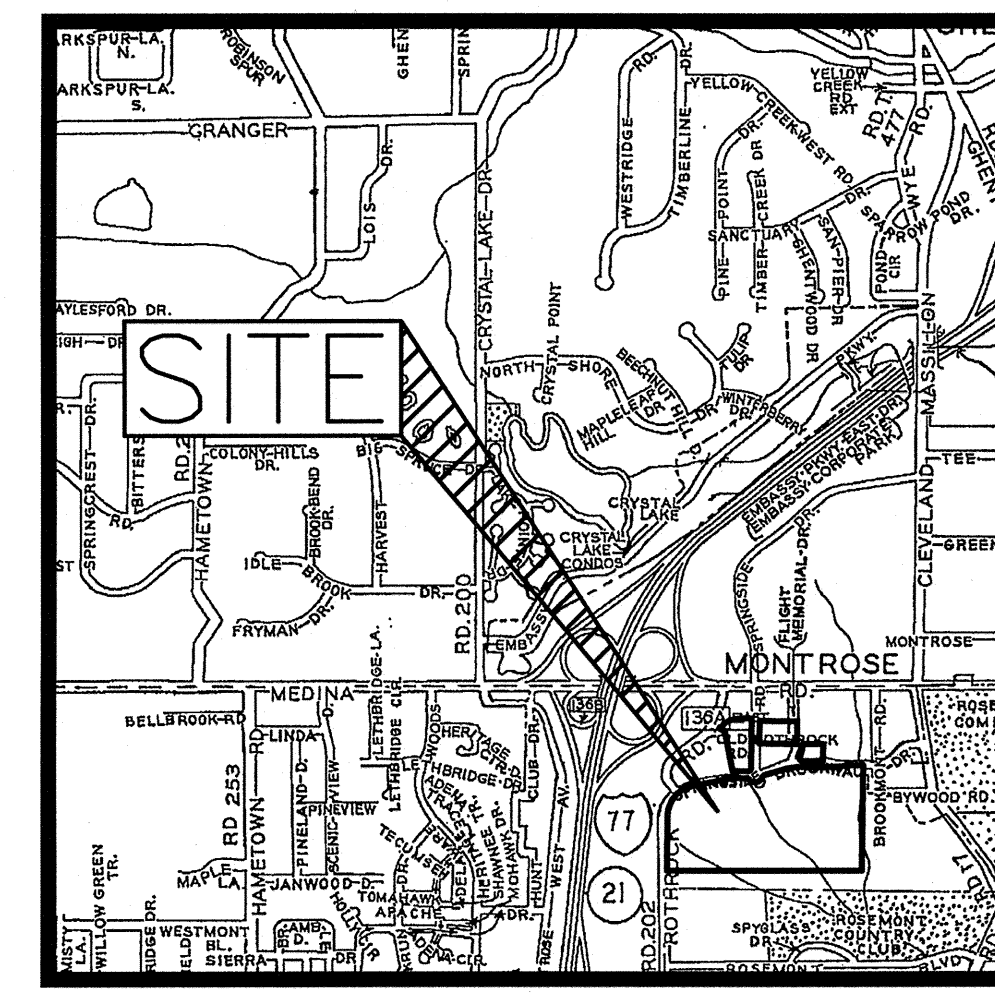
TO: PERA MONTROSE, INC.; CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS,
AND INCLUDES ITEMS 1,2,3,4,6, 7(c), 7(b)(1), 8, 9, 11b, 13, 16 OF TABLE A THEREOF.
THE FIELD WORK WAS COMPLETED ON JULY 9, 2013.

LOUIS J. GIFFELS / REG. NO. 7790 / DATE 7/19/2013



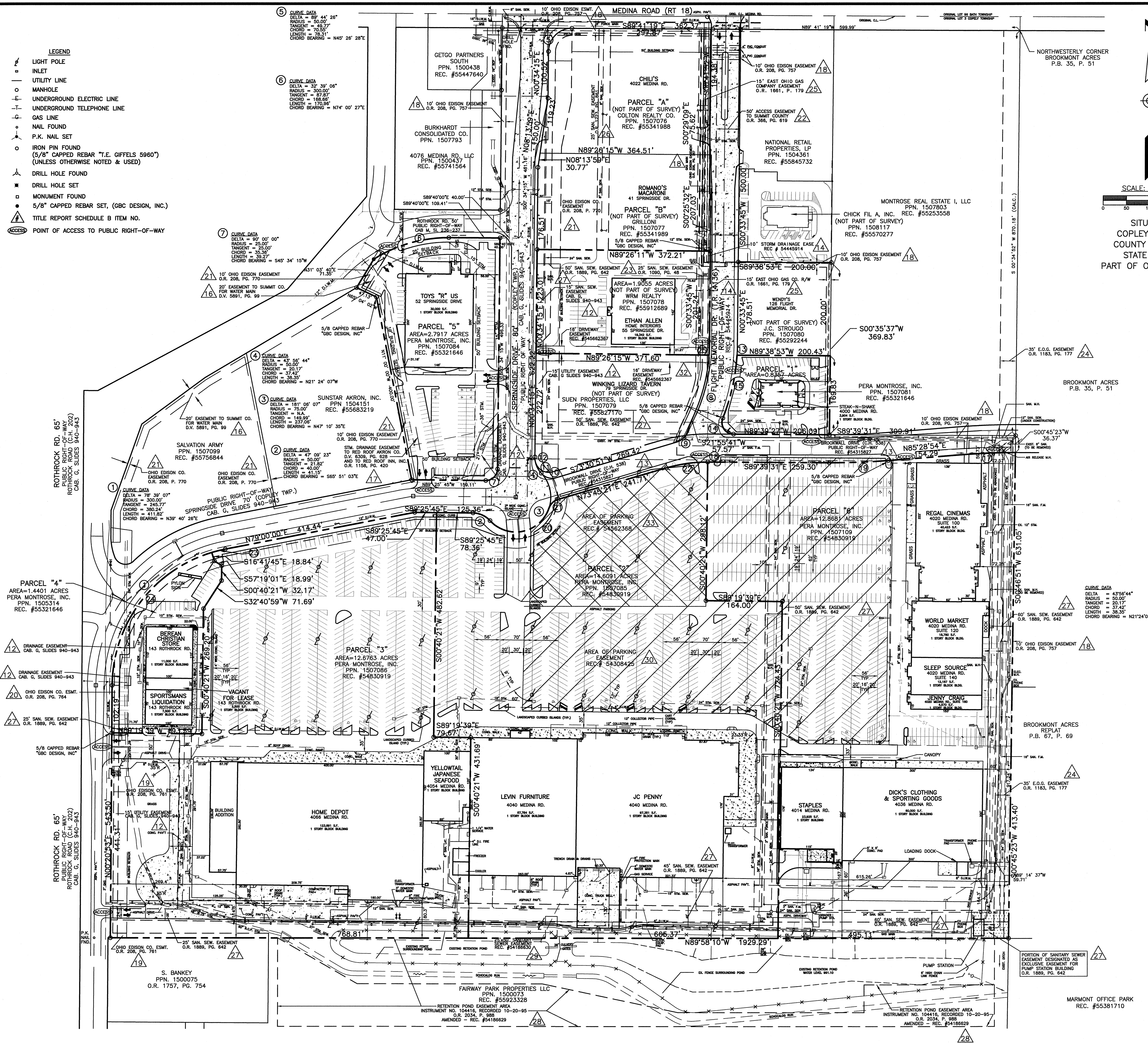
BASIS OF BEARING
THE PLAT OF BROOKMOUNT DRIVE (C.H. 538) PUBLIC RIGHT OF
WAY AS RECORDED IN RECEPTION #54315827 OF THE SUMMIT
COUNTY RECORDS.



LOCATION MAP

SCALE: 1" = 3000'

- LEGEND**
- LIGHT POLE
 - INLET
 - UTILITY LINE
 - MANHOLE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND TELEPHONE LINE
 - GAS LINE
 - NAIL FOUND
 - P.K. NAIL SET
 - IRON PIN FOUND
 - (5/8" CAPPED REBAR "T.E. GIFFELS 5960")
 - (UNLESS OTHERWISE NOTED & USED)
 - DRILL HOLE FOUND
 - DRILL HOLE SET
 - MONUMENT FOUND
 - 5/8" CAPPED REBAR SET, (GBC DESIGN, INC.)
 - TITLE REPORT SCHEDULE B ITEM NO.
 - POINT OF ACCESS TO PUBLIC RIGHT-OF-WAY



EASEMENTS, RESERVATIONS, & RESTRICTIONS

1. EASEMENT, RESERVATIONS AND RESTRICTION AS SHOWN THE PLAT OF DEDICATION FOR SPRINGSIDE DRIVE, AS RECORDED IN PLAT CABINET G, SLIDE 940 OF THE SUMMIT COUNTY RECORDS - SHOWN (EASEMENT RECITAL IS BLANKET-NOT SHOWN) - APPLIES TO SUBJECT PROPERTY (UTILITY EASEMENT AFFECTS PARCELS F, G, H, AND M ONLY) (DRAINAGE EASEMENT AFFECTS PARCEL M ONLY) - ITEM NO. 12.
2. EASEMENT FOR ROAD PURPOSES AS SHOWN ON THE PLAT OF BROOKWALL DRIVE (C.H. 538), AS RECORDED IN RECEPTION #54318827 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL F ONLY) - ITEM NO. 13.
3. EASEMENT FOR ROAD PURPOSES AND 10' STORM EASEMENT AS SHOWN ON THE PLAT OF DEDICATION FOR FLIGHT MEMORIAL DRIVE (T.R. 4136), AS RECORDED IN RECEPTION # 54445914 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C AND F ONLY) - ITEM NO. 14.
23. DECLARATION OF RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 905 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M) - ITEM NO. 15.
4. BOARD OF COMMISSIONERS OF SUMMIT COUNTY WATER SUPPLY FACILITIES EASEMENT, AS RECORDED IN DEED VOLUME 5891, PAGE 99 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 16.
5. RED ROOF AKRON CO. STORM WATER DRAINAGE EASEMENT AS RECORDED IN DEED VOLUME 6309, PAGE 628 OF THE SUMMIT COUNTY RECORDS, RIGHTS THEN ASSIGNED IN DEED VOLUME 1158, PAGE 420 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 17.
7. OHIO EDISON COMPANY 10' EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 757 OF THE SUMMIT COUNTY RECORDS - AMENDMENT RECORDED IN RECEPTION #54288088 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G AND H ONLY) - ITEM NO. 18.
8. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 761 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 19.
9. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 764 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 20.
10. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 770 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 21.
11. COUNTY OF SUMMIT 50' ACCESS EASEMENT AS RECORDED IN OFFICIAL RECORD 366, PAGE 619 OF THE SUMMIT COUNTY RECORDS, SHOWN - APPLIES TO SUBJECT PROPERTY (WITHIN THE LIMITS OF FLIGHT MEMORIAL DRIVE ONLY) - ITEM NO. 22.
13. COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1090, PAGE 48 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 29) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 23.
14. EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1183, PAGE 177 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS G, H, I AND J ONLY) - ITEM NO. 24.
18. EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1861, PAGE 179 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 25.
19. 25' SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO THE COUNTY OF SUMMIT, OHIO AS RECORDED IN OFFICIAL RECORD 723, PAGE 861 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 26.
21. COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1889, PAGE 642 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 18) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 27.
22. EASEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE DEVELOPMENT INC., AS RECORDED IN OFFICIAL RECORD 2034, PAGE 988 OF THE SUMMIT COUNTY RECORDS (AMENDED IN RECEPTION #54186629 OF THE SUMMIT COUNTY RECORDS) - SHOWN - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 28.
27. SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO MONTROSE DEVELOPMENT, INC. AND FAIRWAY PARK PROPERTIES LLC, AS RECORDED IN RECEPTION #54186630 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY - ITEM NO. 29.
30. PARKING EASEMENT FROM MONTROSE DEVELOPMENT INC., TO STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308425 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS F, G, H AND I ONLY) - ITEM NO. 30.
32. UTILITY AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54411125 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 31.
33. COMMON DRIVEWAY EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM AND JACQUELINE MOTSINGER, AS RECORDED IN RECEPTION #54562367 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C AND F) - ITEM NO. 32.
34. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A DEED OF EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND FRISCH'S RESTAURANTS, INC., AS RECORDED IN RECEPTION #54562368 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL G AND H ONLY) - ITEM NO. 33.
35. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A RECIPROCAL EASEMENT AND EXCLUSIVE USE AGREEMENT BETWEEN MS AT MONTROSE, LLC AND JOHN C. STROGO AS RECORDED IN RECEPTION #55292245 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET OVER ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 34.
6. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE CINEMA, INC., AS RECORDED IN OFFICIAL RECORD 1332, PG. 898; MEMORANDUM OF LEASE AS RECORDED IN OFFICIAL RECORD 1232, PG. 903; FIRST AMENDMENT TO LEASE AS RECORDED IN OFFICIAL RECORD 1354, PG. 576; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1242, PG. 767 AND OFFICIAL RECORD 1242, PAGE 773; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1376, PG. 423 AND O.R. 1378, PG. 433; ASSIGNMENTS ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN OFFICIAL RECORD 1557, PG. 420. ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #551721181; MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #54172162, AGREEMENT AS RECORDED IN RECEPTION #55172183, AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55261202, MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #55196010, AGREEMENT AS RECORDED IN RECEPTION #55257621, AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55281201, ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #55261196, GROUND LESSOR'S CONSENT AS RECORDED IN RECEPTION #55287481, GROUND LEASE ESTOPPEL AS RECORDED IN RECEPTION #55261200 AND RE-RECORDED IN RECEPTION #55264313, GROUND LESSORS CONSENT AS RECORDED IN RECEPTION #55287461 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 36.
15. MEMORANDUM OF LEASE WITH USE RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND BUILDERS SQUARE, INC., AS RECORDED IN OFFICIAL RECORD 1183, PAGE 430 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENTS IN RECEPTION #54303146, ASSIGNMENTS IN RECEPTION #54303147, FIRST AMENDMENT AS RECORDED IN RECEPTION #54312062 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 37.
16. ITEM NO. 38 IS NOT A MATTER OF SURVEY.
16. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND BINKER RESTAURANT CORPORATION, AS RECORDED IN OFFICIAL RECORD 1492, PG. 666 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #54987122 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 39.
17. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND ROMANO'S MACARONI GRILL, INC., AS RECORDED IN OFFICIAL RECORD 1492, PG. 672 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 40.
20. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND DICK'S CLOTHING AND SPORTING GOODS, INC., AS RECORDED IN OFFICIAL RECORD 1790, PG. 836 OF THE SUMMIT COUNTY RECORDS - SUBJECT TO AMENDMENTS AND AGREEMENTS RECORDED IN DEED VOLUME 2086, PAGE 888, RECEPTION #54354290, RECEPTION #54354291, RECEPTION #54397277, AND RECEPTION #55142200 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (LEASE OVER EXISTING DICK'S CLOTHING & SPORTING GOODS BUILDING - AFFECTS PARCELS G AND H ONLY) - ITEM NO. 41.
24. STORM DRAIN CONNECTION AGREEMENT BY AND BETWEEN MONTROSE DEVELOPMENT, INC., TOYS-R-US-OHIO, INC., AND RED ROOF INNS, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 916 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (LOCATION UNDEFINED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 42.
25. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PG. 928 OF THE SUMMIT COUNTY RECORDS AND A COMMENCEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC. AS RECORDED IN RECEPTION #54015356 OF THE SUMMIT COUNTY RECORDS - ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #55292333 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 43.
26. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND STAPLES INC., AS RECORDED IN RECEPTION #54080607 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - SHOPPING CENTER USES ARE RESTRICTED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 44.
28. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT INC. AND COST PLUS, INC. AS RECORDED IN RECEPTION #54282180 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY- ITEM NO. 45.
29. TERMS, COVENANTS AND RESTRICTIONS CONTAINED IN A SHORT FORM LEASE BETWEEN MONTROSE DEVELOPMENT INC., AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308424 AND THEN RE-RECORDED IN RECEPTION #54410525 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL I ONLY) - ITEM NO. 46 & 48.
31. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM MOTSINGER, AS RECORDED IN RECEPTION #54377422 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 47.

**EASEMENTS HAVE BEEN PLOTTED FROM CHICAGO TITLE INSURANCE COMPANY TITLE NO: 555130144 DATED MAY 28, 2013.

SHOPPING CENTER PARKING TALLY
PARCELS "1 - 6"

REGULAR SPACES = 2158
HANDICAP SPACES = 49
TOTAL SPACES = 2207

PARKING MEETS REQUIREMENTS PER COPLEY TOWNSHIP ZONING APPROVED SITE PLAN.

CURVE DATA

8 CURVE DATA

DELTA = 18'00'32"
RADIUS = 371.68'
TANGENT = 58.90'
CHORD = 116.34'
LENGTH = 116.82'
CHORD BEARING = S12°55'25"W

9 CURVE DATA

DELTA = 51°35'08"
RADIUS = 34.89'
TANGENT = 16.86'
CHORD = 30.36'
LENGTH = 31.41'
CHORD BEARING = S47°43'15"W

10 CURVE DATA

DELTA = 64°41'16"
RADIUS = 30.00'
TANGENT = 19.00'
CHORD = 32.40'
LENGTH = 33.87'
CHORD BEARING = N7°40'33"W

11 CURVE DATA

DELTA = 01°03'47"
RADIUS = 75.00'
TANGENT = 0.70'
CHORD = 1.39'
LENGTH = 1.39'
CHORD BEARING = N42°50'36"W

12 CURVE DATA

DELTA = 43°56'44"
RADIUS = 50.00'
TANGENT = 20.17'
CHORD = 37.42'
LENGTH = 38.35'
CHORD BEARING = N21°24'08"W

13 CURVE DATA

DELTA = 25°11'16"
RADIUS = 431.68'
TANGENT = 10.76'
CHORD = 21.50'
LENGTH = 21.51'
CHORD BEARING = N01°59'23"E

14 CURVE DATA

DELTA = 111°35'15"
RADIUS = 25.00'
TANGENT = 36.78'
CHORD = 41.35'
LENGTH = 48.69'
CHORD BEARING = N33°51'56"W

15 CURVE DATA

DELTA = 18°30'41"
RADIUS = 431.68'
TANGENT = 70.35'
CHORD = 138.86'
LENGTH = 139.47'
CHORD BEARING = N12°40'21"E

16 CURVE DATA

DELTA = 21°21'55"
RADIUS = 431.68'
TANGENT = 81.43'
CHORD = 160.04'
LENGTH = 160.97'
CHORD BEARING = S11°14'43"W

17 CURVE DATA

DELTA = 4°45'24"
RADIUS = 1438.25'
TANGENT = 59.73'
CHORD = 119.37'
LENGTH = 119.40'
CHORD BEARING = N87°51'36"E

18 CURVE DATA

DELTA = 0°19'42"
RADIUS = 317.50'
TANGENT = 0.91'
CHORD = 1.82'
LENGTH = 1.82'
CHORD BEARING = S89°49'23"E

19 CURVE DATA

DELTA = 4°51'35"
RADIUS = 1498.25'
TANGENT = 63.58'
CHORD = 127.04'
LENGTH = 127.08'
CHORD BEARING = N87°54'41"E

20 CURVE DATA

DELTA = 119°07'17"
RADIUS = 75.00'
TANGENT = 127.63'
CHORD = 129.33'
LENGTH = 155.93'
CHORD BEARING = N78°09'59"E

21 CURVE DATA

DELTA = 55°09'00"
RADIUS = 30.00'
TANGENT = 15.67'
CHORD = 27.77'
LENGTH = 28.88'
CHORD BEARING = N46°10'51"E

22 CURVE DATA

DELTA = 16°15'25"
RADIUS = 317.15'
TANGENT = 45.30'
CHORD = 89.69'
LENGTH = 89.99'
CHORD BEARING = N81°53'04"E

23 CURVE DATA

DELTA = 5°41'45"
RADIUS = 300.00'
TANGENT = 14.92'
CHORD = 29.81'
LENGTH = 29.82'
CHORD BEARING = N76°09'07"E

24 CURVE DATA

DELTA = 72°57'22"
RADIUS = 300.00'
TANGENT = 221.81'
CHORD = 356.71'
LENGTH = 382.00'
CHORD BEARING = N36°49'34"E

25 CURVE DATA

DELTA = 3°21'24"
RADIUS = 371.68'
TANGENT = 10.89'
CHORD = 21.77'
LENGTH = 21.77'
CHORD BEARING = N02°14'27"E

REVISIONS

GBC DESIGN, INC.

565 White Pond Dr.
Akron, OH 44320-1123
Phone 330-886-0228
Fax 330-886-5762

PERA MONTROSE, INC.

C/O CBRE, INC.
200 PUBLIC SQUARE - SUITE 2500
CLEVELAND, OHIO 44114

MARKET SQUARE AT MONTROSE
COPLEY, OHIO

ALTA/ACSM LAND TITLE SURVEY
MAY, 2013 UPDATE

DRAWN BY:
J.A.B.

DATE:
MAY, 2013

PROJECT NO.
21042B6

DRAWING NO.

2 OF 3

Parcel 6 - 12.8681 Acres
PPN 1507109

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in the Plat Book 35, Page 51 of the Summit County Records; Thence S 00o 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to point;
Thence S 00o 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning for the parcel of land herein described;
Thence S 00o 46' 51" W, continuing along the westerly line of said Brookmont Acres and also along the westerly Brookmont Acres Replat as recorded in the Plat Book 67, Page 69, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00o 45' 23" W, continuing along westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar found;
Thence N 89o 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 00o 40' 21" E a distance of 724.43 feet to a P.K. nail to be set;
Thence N 89o 19' 39" W a distance of 164.00 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 298.12 feet to a P.K. nail to be set;
Thence along southerly line of Brookwall Drive (C.H. 538) as recorded in Rec. # 54315827 of the Summit County Records, along the arc of a circle curving to the right, having a central angle of 00o 19' 42", a radius of 317.15 feet, a tangent of 0.91 feet, a chord of 1.82 feet, a chord bearing of S 89o 49' 23" E, and an arc length of 1.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89o 39' 31" E, continuing along southerly line of said Brookwall Drive, a distance of 259.30 feet to a P.K. nail to be set at a point of curvature;
Thence continuing along southerly line of said Brookwall Drive, along the arc of a circle curving to the left, having a central angle of 04o 51' 35", a radius of 1498.25 feet, a tangent of 63.58 feet, a chord of 127.04 feet, a chord bearing of N 87o 51' 36" E, and an arc length of 127.08 feet to a P.K. nail to be set;
Thence N 85o 28' 54" E, continuing along the southerly line of Brookwall Drive (S.H. 536) as recorded in Rec. # 54315827 of Summit County Records, a distance of 154.29 to a P.K. nail to be set at a point of curvature;
Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right, having a central angle of 04o 45' 24", a radius of 1438.25 feet, a tangent of 59.73 feet, a chord of 119.37 feet, a chord bearing of N 87o 51' 36" E, and an arc length of 119.40 feet to a point, which is the True Place of Beginning and containing 12.8681 Acres of land, more or less, as surveyed in August, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 2 - 14.6091 Acres
PPN 1507085

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also being the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 89 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;
Thence, continuing N 89o 58' 10" W, a distance of 665.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 00o 40' 21" E a distance of 431.69 feet to a P.K. nail to be set;
Thence N 89o 19' 39" W a distance of 79.67 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 482.62 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89o 25' 45" E, along the southerly line of Springside Drive (70' wide) as recorded in Cabinet G, slides 940-943 of Summit County Records, a distance of 78.36 feet to a 5/8" capped rebar found at a point of curvature;
Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the right having a central angle of 47o 09' 25", a radius of 50.00 feet, a tangent of 21.82 feet, a chord of 40.00 feet, a chord bearing S 65o 51' 03" E, and an arc length of 41.15 feet to a 5/8" capped rebar found at a point of reverse curvature;
Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the left having a central angle of 116o 07' 17", a radius of 75.00 feet, a tangent of 127.43 feet, a chord of 129.33 feet, a chord bearing N 78o 09' 59" E, and an arc length of 155.93 feet to a 5/8" capped rebar found;
Thence along the southerly line of Brookwall Drive(C.H. 538), as recorded in Rec. # 54315827 of the Summit County records, along the arc of a circle curving to the right having a central angle of 55o 09' 00", a radius of 30.00 feet, a tangent of 15.67 feet, a chord of 27.77 feet, a chord bearing N 46o 10' 51" E, and an arc length of 28.88 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 73o 45' 21" E, continuing along the southerly line of said Brookwall Drive, a distance of 241.71 feet to a P.K. nail to be set at a point of curvature;
Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right having a central angle of 16o 15' 25", a radius of 317.15 feet, a tangent of 45.30 feet, a chord of 89.69 feet, a chord bearing N 81o 55' 04" E, and an arc length of 89.99 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 298.12 feet to a P.K. nail to be set;
Thence S 89o 19' 39" W a distance of 164.00 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 724.43 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point, which is the True Place of Beginning and containing 14.6091 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 3 - 12.6763 Acres
PPN 1507086

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found;
Thence N 89 58' 10" W a distance of 1160.48 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;
Thence, continuing N 89o 58' 10" W, a distance of 768.81 feet to a 5/8" capped rebar found;
Thence N 00o 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89o 19' 39" W a distance of 193.59 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 269.20 feet to a P.K. nail to be set;
Thence N 32o 40' 59" E a distance of 71.69 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 32.17 feet to a P.K. nail to be set;
Thence N 57o 19' 01" W a distance of 18.99 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 16o 41' 45" W a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence along the southerly line of Springside Drive (70' wide), as recorded in Cabinet G, Slides 940-943 of the Summit County Records, along the arc of a circle curving to the right having a central angle of 05o 41' 45", a radius of 300.00 feet, a chord of 29.81 feet, a chord bearing N 76o 09' 07" E, and an arc length of 29.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 79° 00' 00" E, continuing along the southerly line of said Springside Drive, a distance of 114.44 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89° 25' 45" E, continuing along the southerly line of said Springside Drive, a distance of 47.00 feet to a point;
Thence S 00o 40' 21" W a distance of 482.62 feet to a P.K. nail to be set;
Thence S 89o 19' 39" W a distance of 79.67 feet to a Drill Hole to be set;
Thence S 00o 40' 21" W a distance of 431.69 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning and containing 12.6763 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 4 - 1.4401 Acres
PPN 1505314

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found;
Thence N 89 58' 10" W a distance of 1929.29 feet to a capped rebar found;
Thence N 00 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;
Thence N 00o 20' 53" E, continuing along the easterly line of said Rothrock, a distance of 102.19 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point of curvature;
Thence continuing along the easterly line of said Rothrock Road, along the arc of a circle curving to the right having a central angle of 72o 57' 22", a radius of 300.00 feet, a tangent of 221.81 feet, a chord of 356.71 feet, a chord bearing N 36o 49' 34" E, and an arc length of 382.00 feet to a point;
Thence S 16o 41' 45" E a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 57o 19' 01" E a distance of 18.99 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 32.17 feet to a P.K. nail to be set;
Thence S 32o 40' 59" W a distance of 71.69 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 269.20 feet to a P.K. nail to be set;
Thence N 89o 19' 39" W a distance of 193.59 feet to a point, which is the True Place of Beginning and containing 1.4401 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

***TOGETHER WITH THE EASEMENT AS FILED FOR RECORD IN VOLUME 2034, PAGE 988 AND AMENDED IN INSTRUMENT NO. 54186629; RECIPROCAL EASEMENT AND OPERATION AGREEMENT FILED FOR RECORD IN VOLUME 1202, PAGE 311 AND VOLUME 1232, PAGE 656 OF SUMMIT COUNTY RECORDS.