

Copley Township Architectural Review Board

Monday, January 5, 2026

6:00 PM

Attendees may participate in person, 1540 S. Cleveland Massillon Road. Participants may view the preservation online at <https://www.copley.oh.us/419/Board-Commission-Meeting-Videos>

1. Meeting Agenda

Documents:

[AGENDA.PDF](#)

2. Major Site Plan & Variance: 1660 Collier Road (Kiehl Construction)

Documents:

[KIEHL CONSTRUCTION PRELIMINARY PLANS 12-03-2025.PDF](#)
[STAFF REPORT 1660 COLLIER RD.PDF](#)

3. Major Site Plan: 1315 S Cleveland Massillon Road (Graves Lumber)

Documents:

[SITE_PLAN_20241022_1_.PDF](#)
[PHASED DEVELOPMENT_SITE_PLAN_20241022_1_.PDF](#)
[49D3825391E5AD7A140528777B34E8CB_STORAGE_SHED_S1.1.PDF](#)
[92BB7E4EBF15C2A74D82715FD4D40F6D_STORAGE_SHED_S2.0.PDF](#)
[234109C5352D328CF5ECBCA16E90FC07_STORAGE_SHED_S1.0.PDF](#)
[651837E357B6A10CD6D54A2EE7013FB2_STORAGE_SHED_S0.0.PDF](#)
[STAFF REPORT 1315 S CLEVE MASS RD-GRAVES LUMBER-MAJOR SITE PLAN APPLICATION 1 2026 PROJECT.PDF](#)

4. Major Site Plan And Variance: 1330 S Cleveland Massillon Road (Autobahn)

Documents:

[AUTOBAHN SITE ARCH DRAWINGS FOR SITE PLAN REVIEW 12-05-2025.PDF](#)
[AUTOBAHN LEGAL DESCRIPTION.PDF](#)
[_AUTOBAHN_FOR_BZA_VARIANCES_12-12-25.PDF](#)
[STAFF REPORT 1330 S CLEVELAND MASSILLON RD.PDF](#)

5. Major Site Plan And Variance: 4014 Medina Road (Former Regal Cinema Redevelopment)

Documents:

[4014_MEDINA_ROAD_P_Z_REVIEW_-_ARCHITECTURAL_DRAWINGS.PDF](#)
[4014_MEDINA_ROAD_P_Z_REVIEW_-_CIVIL_SITE_DRAWINGS.PDF](#)
[E6D09F2EF72592037AEADDF20952FC2E_4014_MEDINA_ROAD_P_Z_REVIEW_-_ARCHITECTURAL_DRAWINGS.PDF](#)
[MARKET_SQUARE_2013_ALTA_SURVEY-SIGNED_2013-07-19.PDF](#)
[STAFF REPORT 4014 MEDINA RD.PDF](#)



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Board of Trustees

Scott D. Dressler
Bruce D. Koellner
James M. Schulte

Administrator

Janice L. Marshall

Fiscal Officer

Roy Speer

Fire Department

Chris Bower, Chief
330.666.6464

Police Department

Michael Mier, Chief
330.666.6464

Service & Development

Greg Tracy, Director
330.666.0365

330-666-0108

Shawna Gfroerer, MPA

Zoning & Zoning
Inspector

Jeff Newman

Code Enforcement
Officer

I. OPEN

II. INTRODUCTION OF MEMBERS

III. REVIEW MINUTES

- August 4, 2025
- December 1, 2025

IV. NEW BUSINESS

a. **Case #:** **ARB202601**

Applicant:

Jeremy Simmons

On Behalf of:

Graves Lumber Company

Landowners:

Graves Lumber Co/Buy Rite Co/33/30 Corp Ltd/Buy Rite
Lumber

Property Address:

1315 S Cleveland Massillon Rd

Property Location:

Parcel 1508656

Zoning District:

Industrial

Proposal:

Major Site Plan-New Unenclosed Lumber Shed

b. **Case #:**

ARB202602/VAR202604

Applicant:

Jared T Kiehl

On Behalf of:

Kiehl Construction

Landowners:

1660 Collier Rd LLC

Property Address:

1660 Collier Rd

Property Location:

Parcel 1505169

Zoning District:

Industrial

Proposal:

Major Site Plan-Commercial Addition/Variance Required

c. **Case #:**

ARB202603/VAR202601

Applicant:

David Smith

On Behalf of:

Autobahn Service Center

Landowners:

Copley Holdings LLC

Property Address:

1330 S Cleveland Massillon Rd

Property Location:

Parcel 1508677

Zoning District:

Industrial

Proposal:

Major Site Plan-Addition/Variance Required



**Copley Township Architectural Review Board
January 5, 2026**

CONTINUED PAGE 2

Board of Trustees

Scott D. Dressler
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**Community &
Economic Development**

330.666.0108

Director

Shawna Gfroerer, MPA
Zoning & Zoning
Inspector

Jeff Newman
Code Enforcement
Officer

d. **Case #:** **ARB202604/VAR202602**
Applicant: MSA Montrose LP, c/o Hampton Properties, Inc
On Behalf of: MSA Montrose
Landowners: MSA Montrose LP
Property Address: 4014 Medina Rd
Property Location: Parcel 1507109
Zoning District: Commercial General Retail
Proposal: Major Site Plan-Redevelopment (former Regal Cinemas Building)/Variance Required

e. **Ongoing review of Site Plan Proposals as requested:**

- Pigeon Creek MUCD
- Swan Lake Phases V & VI
- Rothrock MUCD

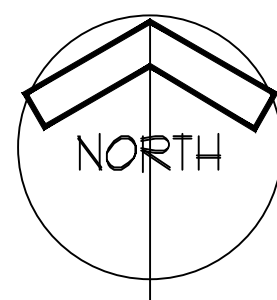
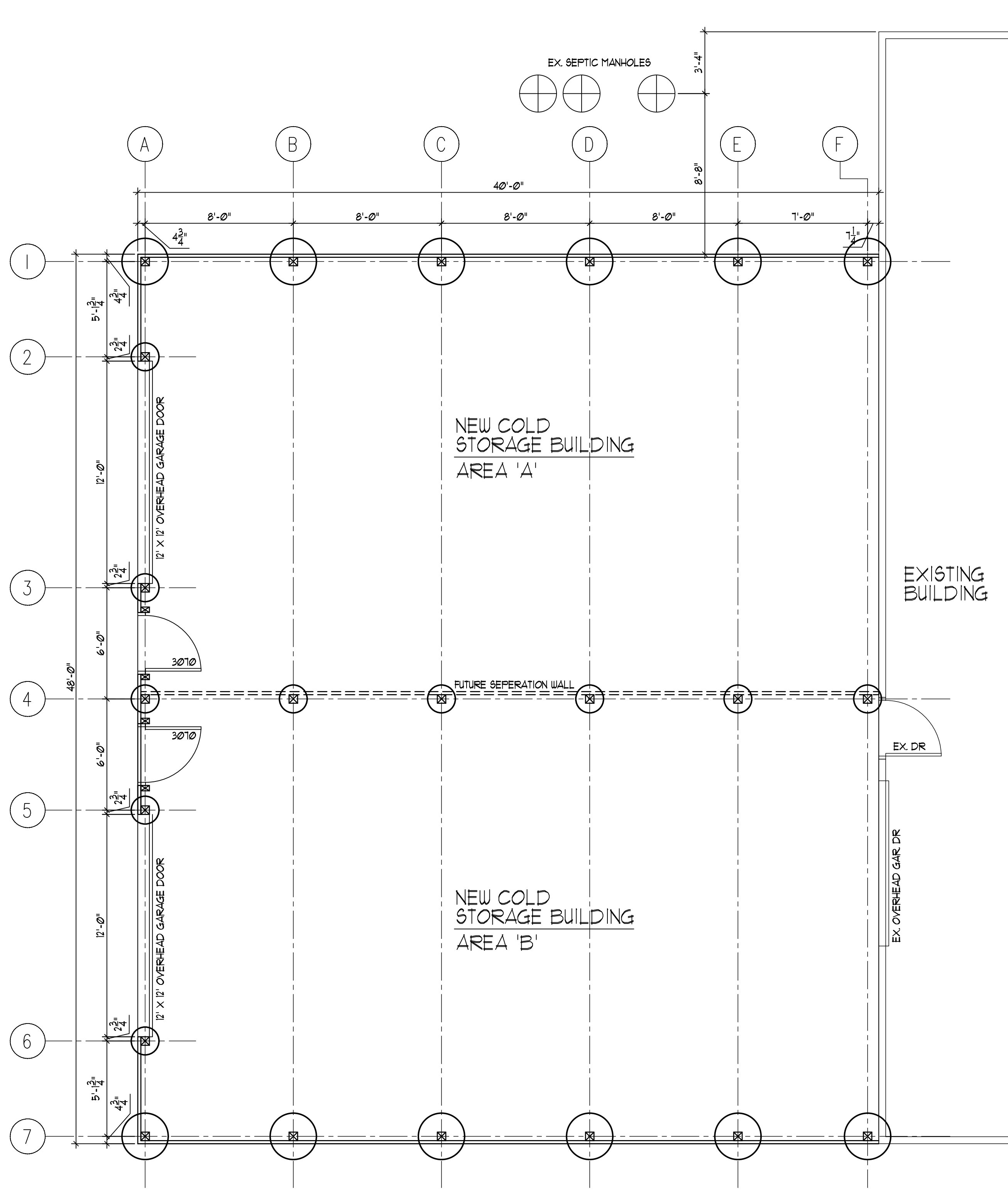
V. **BUSINESS FROM THE DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT**

- Professional Development-APA Zoning Practice
- Design Guidelines-Draft Document
- Tree Board Meeting: February 2, 2026 5:00 PM

VI. **BUSINESS FROM THE FLOOR**

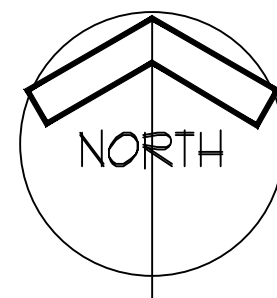
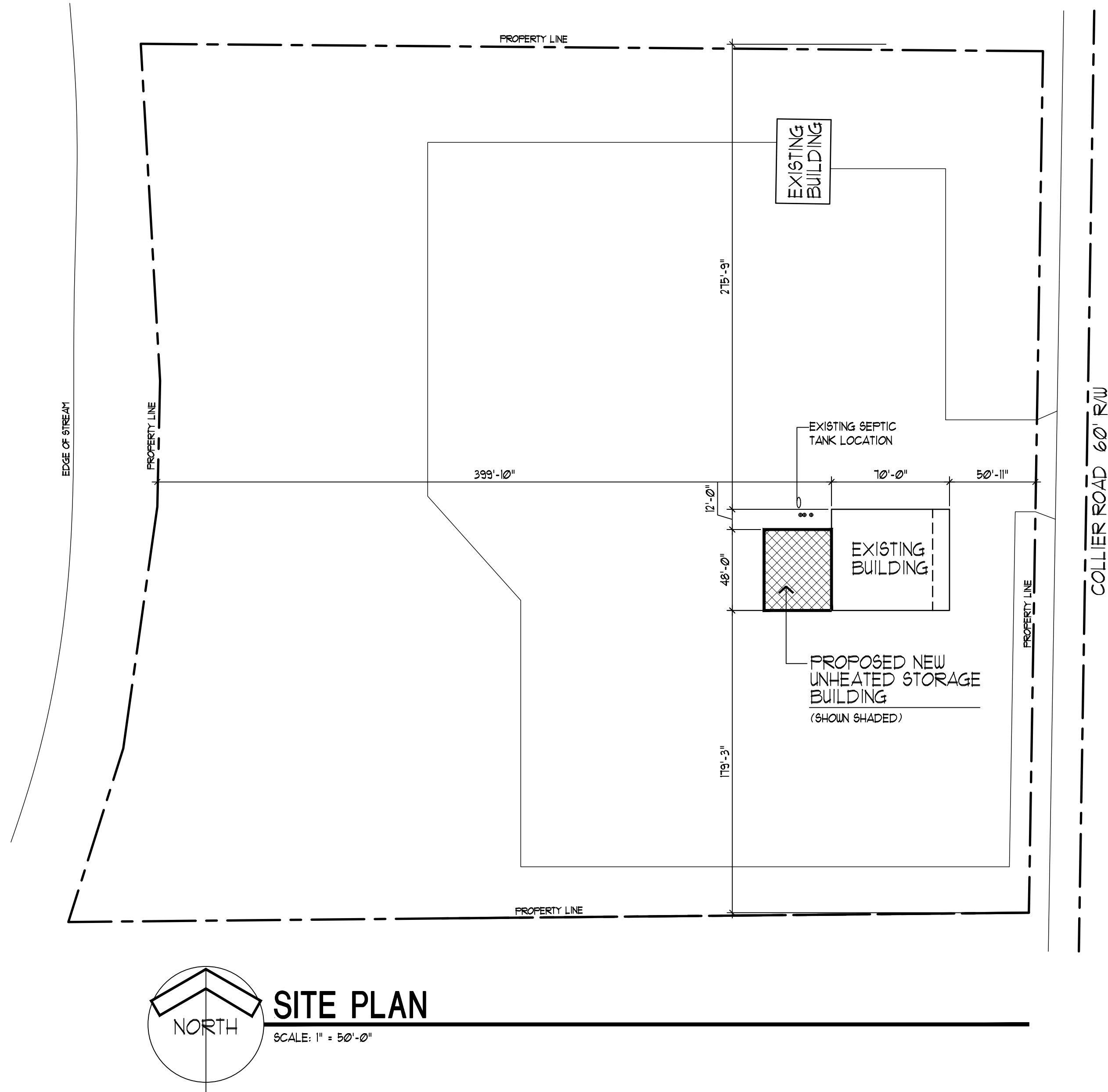
VI. **NEXT MEETING: February 2, 2026**

VII. **ADJOURNMENT**



PRELIMINARY FLOOR PLAN

SCALE: 1/4"=1'-0"



SITE PLAN

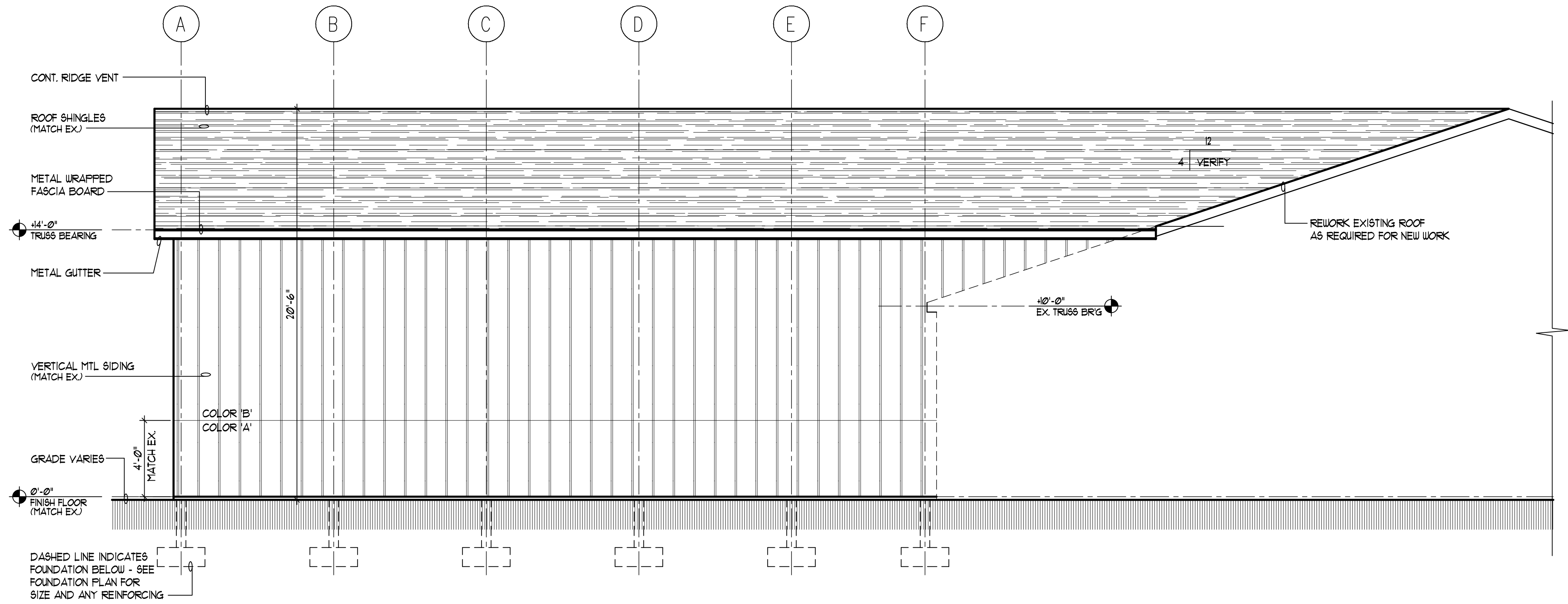
SCALE: 1" = 50'-0"

REVISIONS

	12-03-2025
	A101

**PROPOSED COLD
STORAGE BLD'G ADD'N**
KIEHL CONSTRUCTION
1660 COLLIER ROAD / AKRON, OHIO

**KRUMROY-COZAD
CONSTRUCTION CORPORATION**
376 W EXCHANGE ST. • AKRON, OHIO 44302 • PHONE: 330.376.4198 • FAX: 330.376.9891

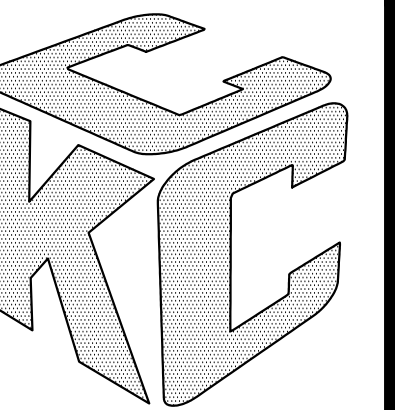


1
A103 PRELIMINARY EXTERIOR 'SOUTH' ELEVATION
SCALE: 1/4"=1'-0"

PROPOSED COLD
STORAGE BLD'G ADD'N
KIEHL CONSTRUCTION
1660 COLLIER ROAD / AKRON, OHIO

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REVISIONS



12-03-2025

A103

COPLEY TOWNSHIP SITE PLAN REVIEW MAJOR SITE PLAN/VARIANCE 1660 COLLIER ROAD STAFF REPORT

January 5, 2026



PROJECT: Kiehl Construction PPN: 1505169	APPLICATION TYPE: Major Site Plan/Variance
LANDOWNER	1660 Collier Road LLC
APPLICANT	Jared T Kiehl
COMPANY PERFORMING WORK REQUESTED	Krumroy-Cozad
INVESTMENT	\$35,000
APPLICATION SUMMARY	Applicant, Jared Kiehl, on behalf of Kiehl Construction, is requesting site plan and variance approval to construct a commercial building addition within an identified floodplain.
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Section 5.01-Industrial District Section 15.07-Non-conforming structures or Uses in the Riparian Setback Section 13.01 F-Site Plan Review
GENERAL LOCATION	The parcel is located on the west side of Collier Road, south of Wright Road and north of Knox Blvd.
LAND AREA	6 acres
ZONING	Industrial (I)
ARCHITECTURAL REVIEW BOARD	January 5, 2026
BOARD OF ZONING APPEALS	January 14, 2026

EXTERNAL AGENCY REVIEW	Summit County Engineer Summit County Floodplain Administrator Summit Soil & Water Conservation District
STAFF COMMENTS	Construction proposed atop of existing impervious surface Approval conditioned upon satisfying all jurisdictional agency requirements.

PROPERTY LOCATION

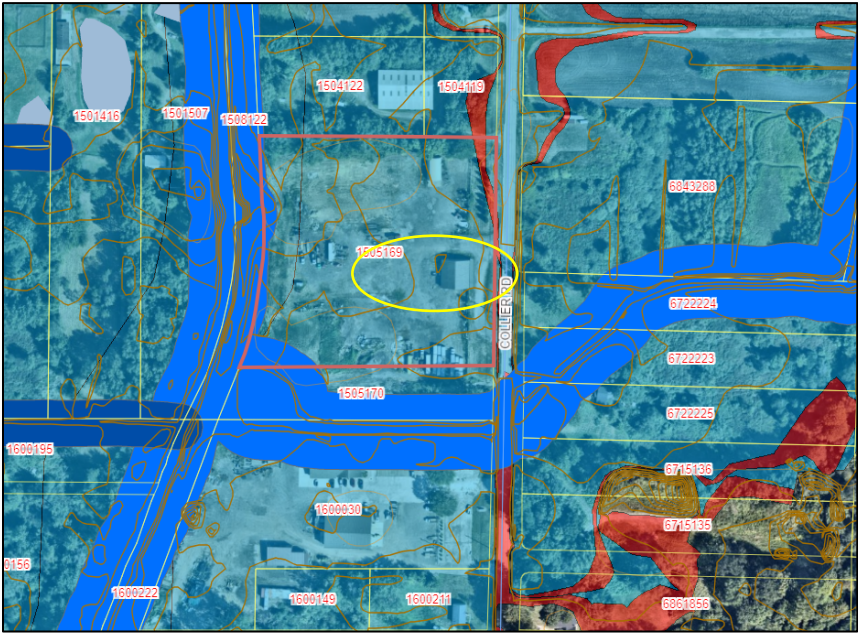
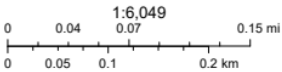
SITE	ZONING	LAND USE
North	R-O/C	Warehouse
South	I	Industrial
East	U-1 City of Akron	Residential
West	R-O/C	Vacant (Railbed)

Parcel Viewer Web Map by County of Summit



12/16/2025, 2:12:09 PM

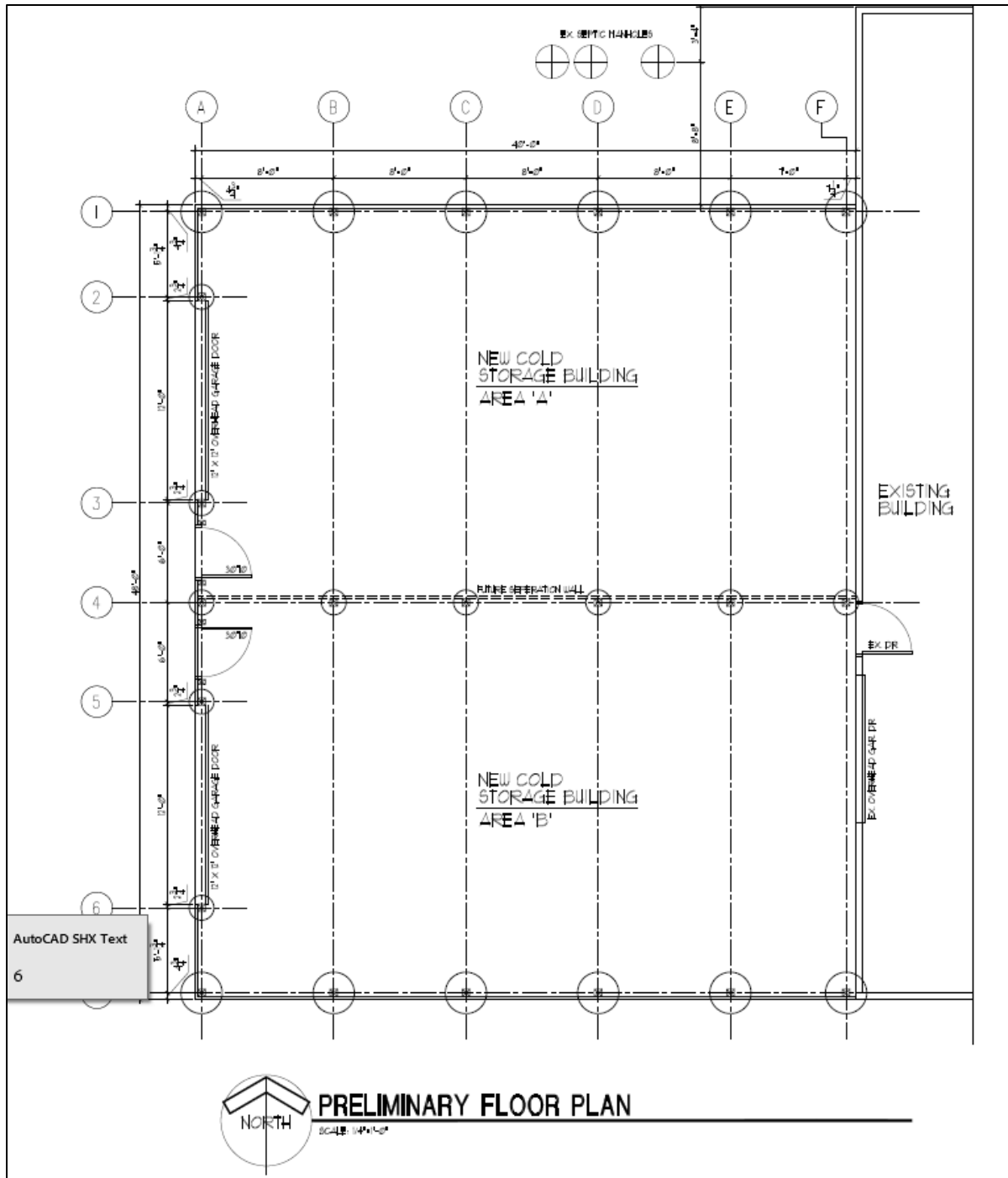
- Parcels
- Jurisdictions 2025



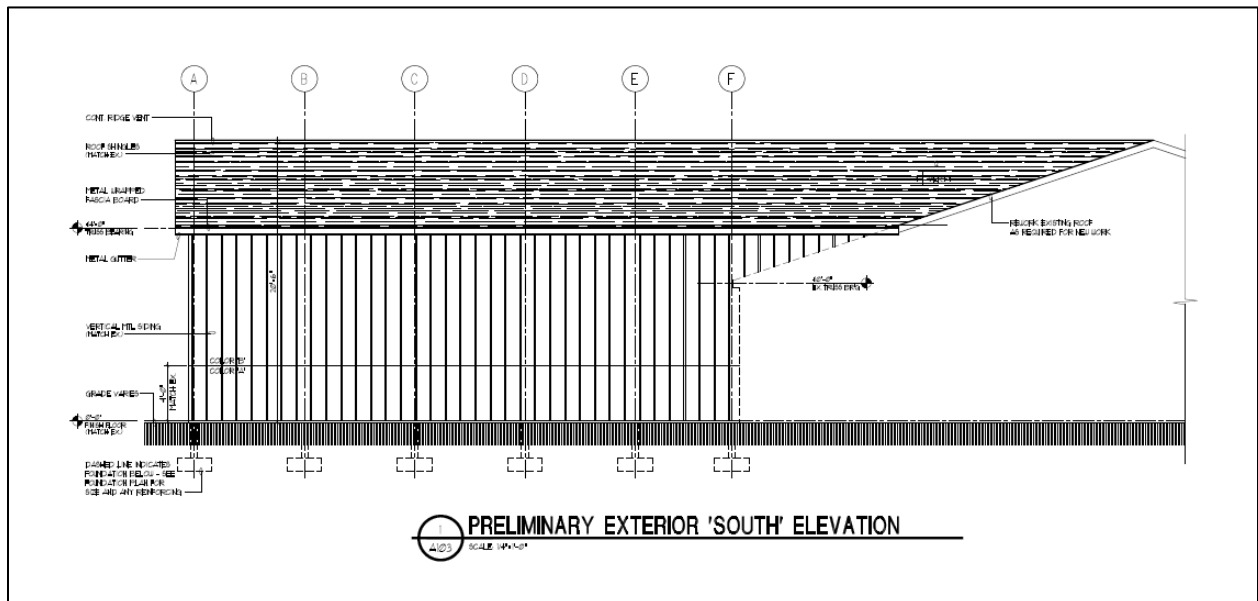
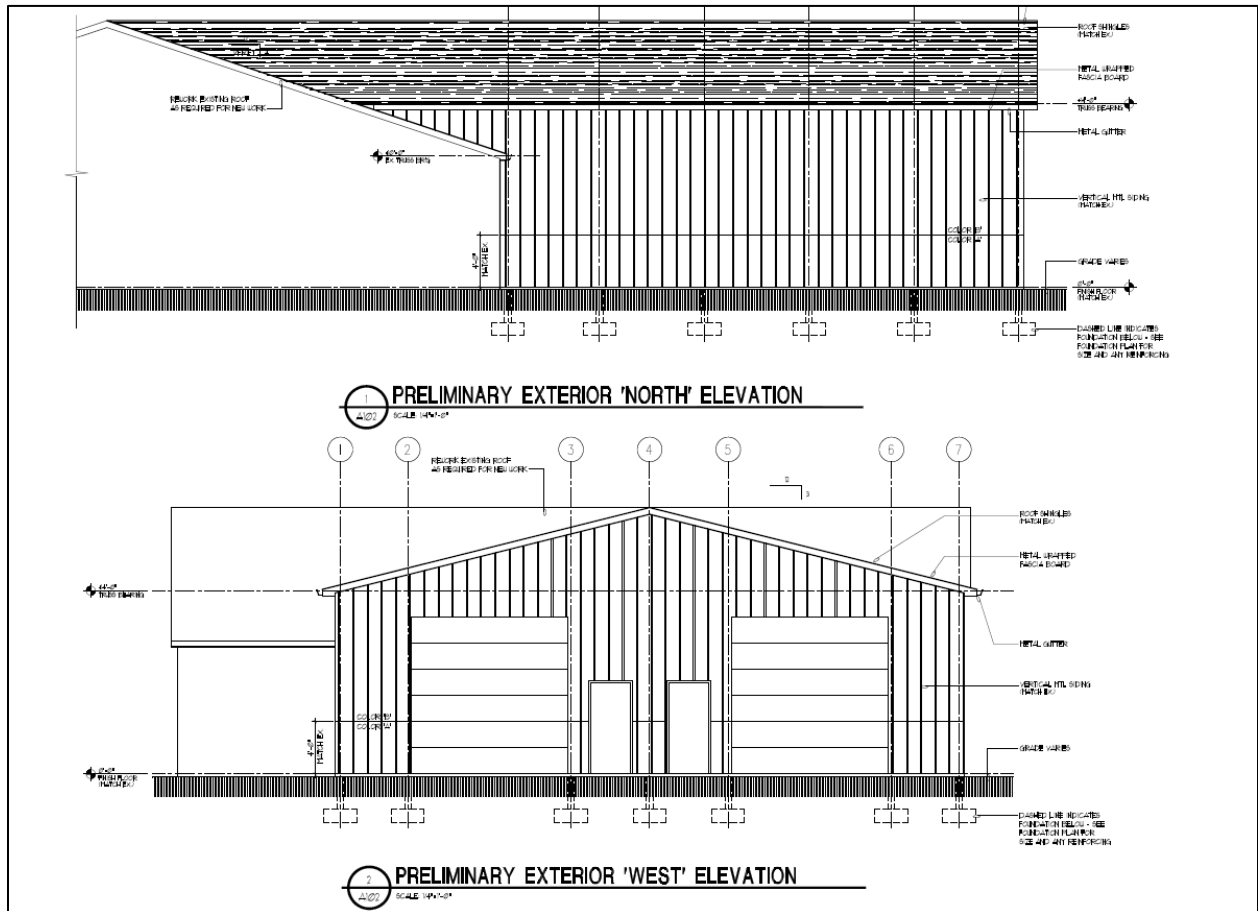
Applicant, Jared Kiehl, on behalf of Kiehl Construction is requesting site plan and variance approval to construct a commercial building addition within an identified floodplain.

The structure is comprised of roof shingles and metal siding to match the existing building.





ELEVATIONS



ARTICLE 5-SECTION 5.01 D.

DEVELOPMENT STANDARDS

- 25' Minimum Front Yard Setback
 - Proposed Setback-120' from the road right of way (Collier Road)
- 25' Minimum Rear Yard Setback
 - Proposed Setback-399' from the rear yard property line.
- 25' Minimum Side Yard Setback
 - Proposed Setback- North: 287'; South: 179'
- 50' Maximum Building Height: The structure will be consistent in height with the existing structure. The structures do not exceed 50'.

VARIANCE: Expansion of a non-conforming structure in the Riparian Setback

Per Section 15.07:

A. Structures and uses within the Riparian Setback, existing at the time of passage of these regulations (April 12, 2003), that are not permitted under these regulations may be continued but shall not be expanded except as set forth in this title.

Per the Summit County Fiscal record, the building was constructed in or around 1965

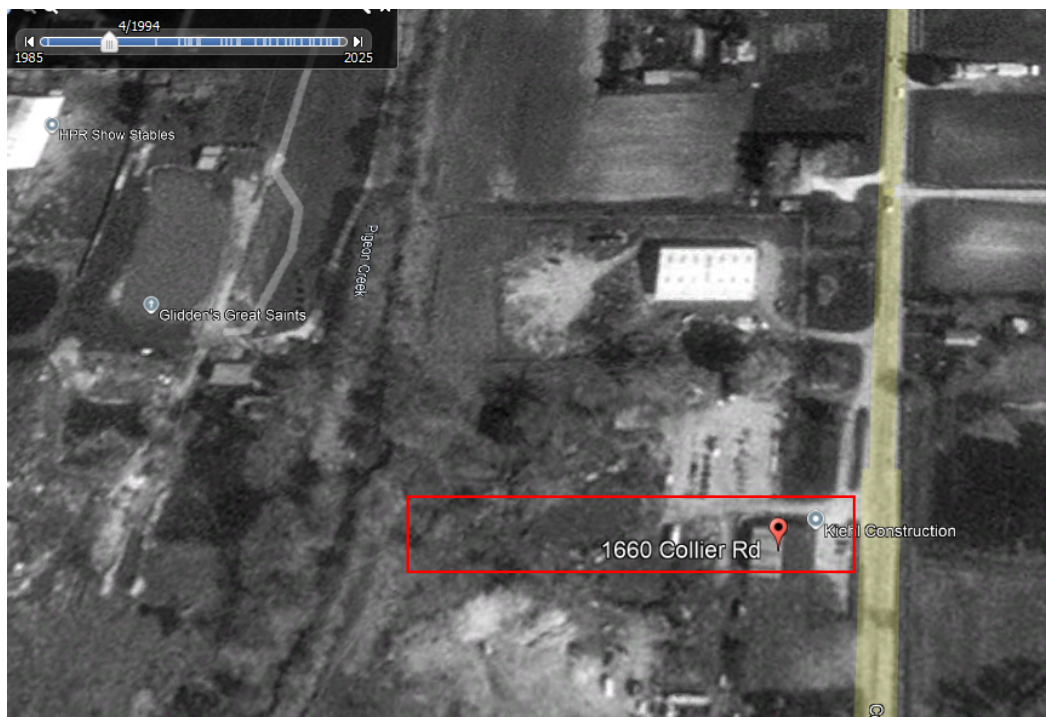
D. Non-residential structure or use expansions will be permitted only through obtaining a variance from the Board of Zoning Appeals.

Per the Summit County Fiscal record, the existing structure is 3,660 square feet in overall area.

The proposed addition is 1,920 square feet in overall area. This is a 52% increase in overall area.

The addition will be placed atop existing impervious surface.

BASIC INFORMATION				
Alternate ID	CP0004202002IHC			
Site Address	1660 COLLIER RD., AKRON 44320-			
Description 1	PT OF LOT 45 W OF COLLIER RD			
Description 2				
Description 3				
Taxing District	15 - COPLEY TWP-COPLEY/FAIRLAWN CSD			
Inter-County	00100			
# of Cards	1			
Lister No., Date	970, 01-JAN-20			
Vacant/Abandon				
Special Flag				
Land Use Code	499 - C - OTHER COMMERCIAL STRUCTURES			
Class	C - COMMERCIAL			
Neighborhood	10300401 -			
OWNER(S)				
Owner 1	Owner 2			
1660 COLLIER ROAD LLC				
HOMESTEAD, OOC, RENTAL REG				
Homestead Exemption	NO			
2006 Reduction Amount				
Owner Occupancy Credit	NO			
Rental Registration Date (M/D/Y)				
Rental Registration Exemption Date (M/D/Y)				
LAND SUMMARY				
Line #	Land Type	Square Feet	Acres	Market Land Value
1	A - Acres	43,560	1.0000	38,500.00
2	A - Acres	219,163	5.0313	48,430.00
COMMERCIAL				
Tax Year	2025			
Card Number	1			
Building Number	1			
Year Built	1965			
Effective Year Built				
Structure Code	398 - WAREHOUSE			



DEPARTMENT & AGENCY COMMENTS

Copley Township Architectural Review Board	Recommend approval of site plan conditioned upon jurisdictional approval and receipt of necessary variance
Copley Township Fire Department	No objection
Copley Township Service Department	No objection
Copley Township Police	No objection
Summit County Engineers Office	No stormwater detention will be required for this addition. A grading permit will be required. The site plan will need to identify roof drain/downspout tie-in locations.
Summit County Floodplain Administration	Pending review

Summit County Soil & Water Conservation District	The floodplain on the parcel is to be considered a riparian setback as it does come into contact with several riparian streams. A variance may be required...
Copley Township Department of Community & Economic Development	Complimentary addition to an industrial building.

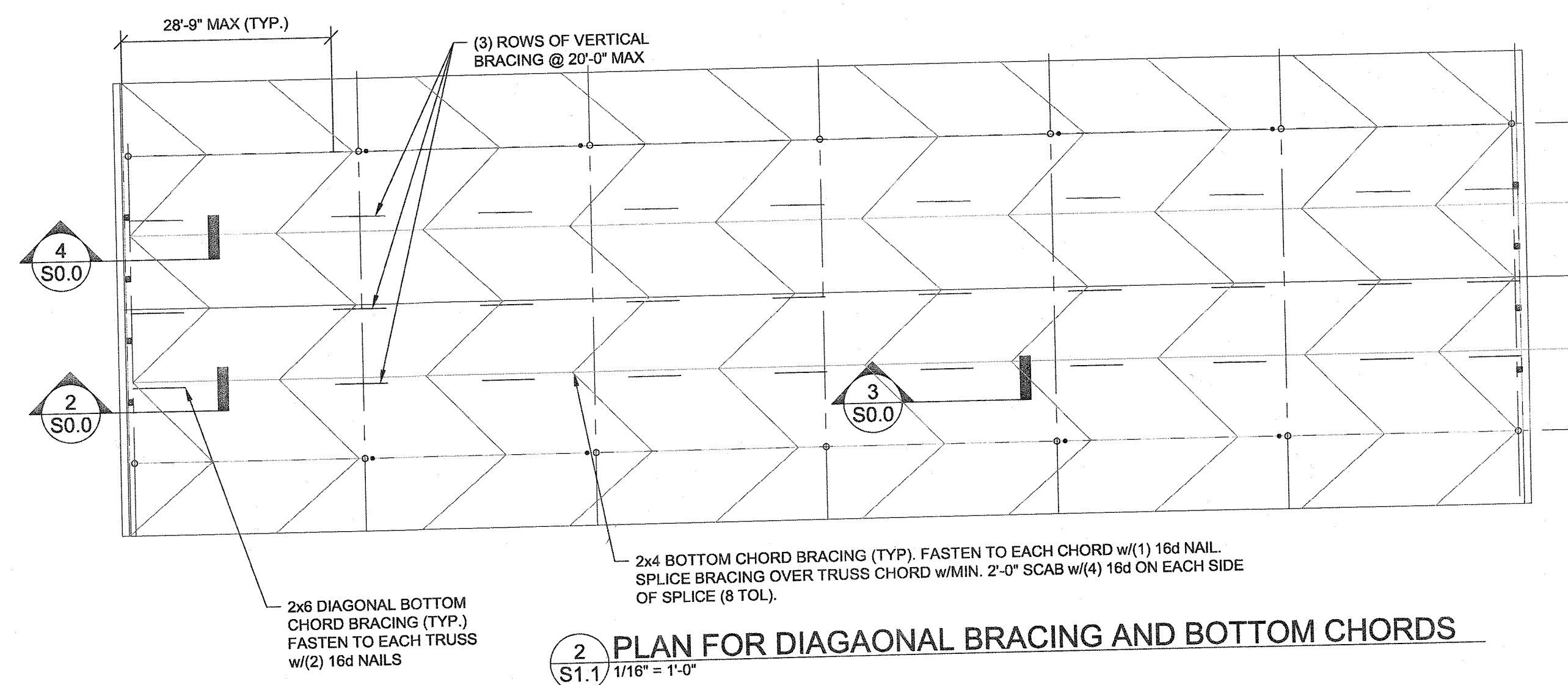
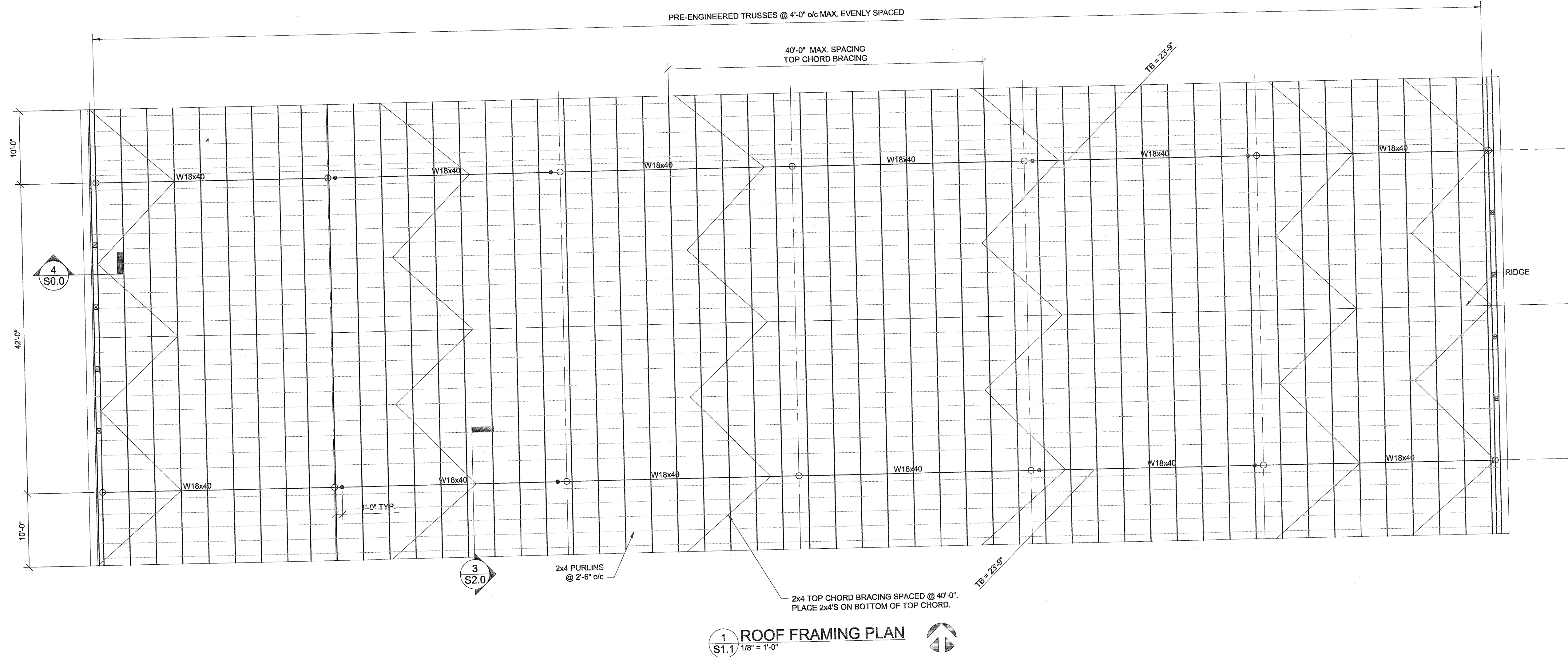
SUGGESTED MOTION FOR CONSIDERATION

On January 5, 2026, the **Copley Township Architectural Review Board** motioned to recommend approval of the applicants Major Site Plan Application inclusive of a 1920 square foot addition and request for the variance required for construction within the identified floodplain

The **Copley Township Board of Zoning Appeals** motions to (approval/approval with conditions/deny) the applicants variance request to expand a non confirming structure within the riparian setback (floodplain) by an additional 1920 square feet in area conditioned upon approval of the Summit County Floodplain Administrator.

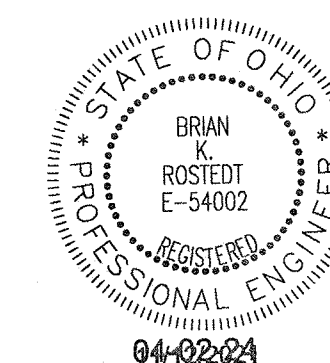
Staff Comment: Conditioned upon agency review and approval



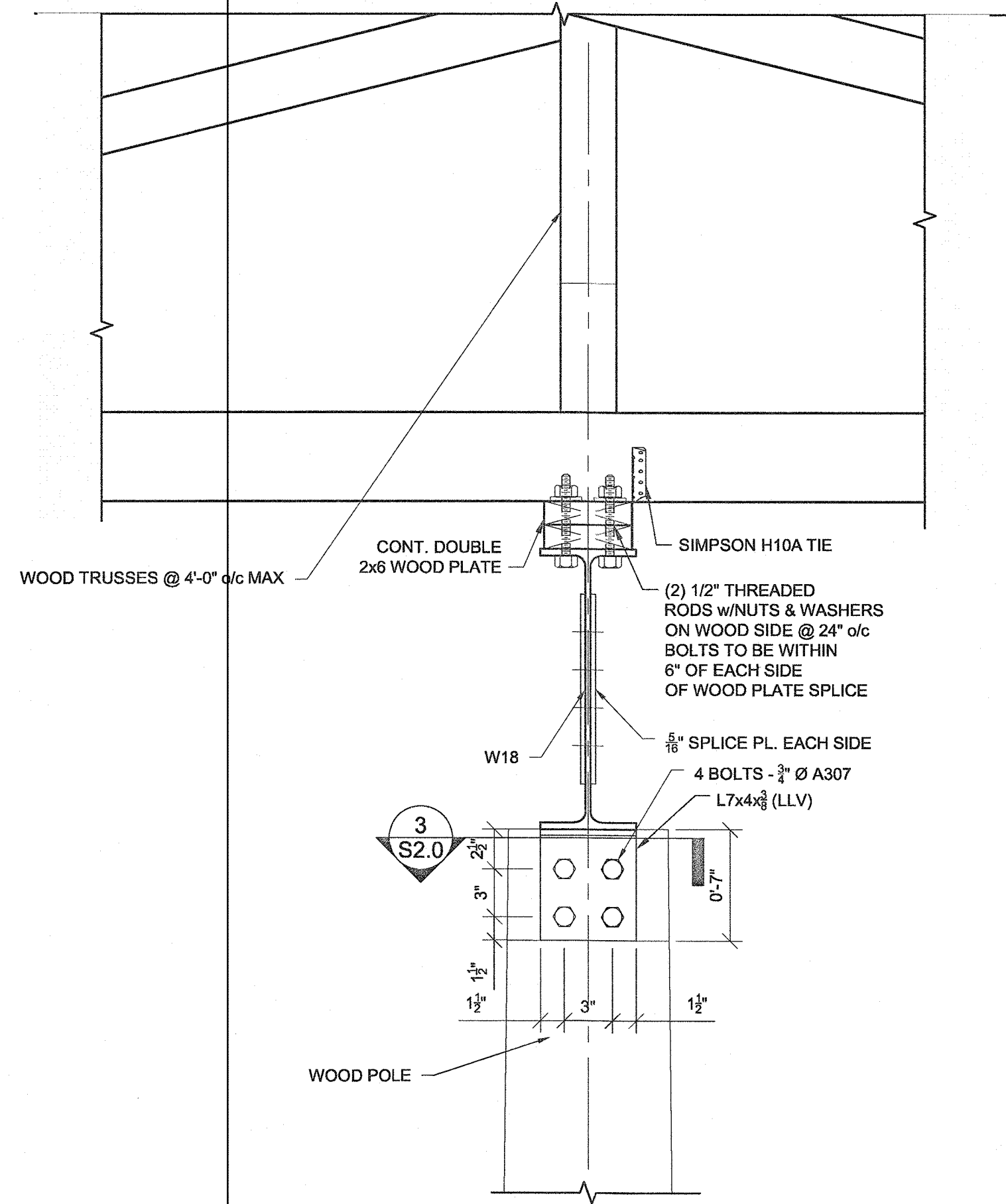


FRAMING NOTES:

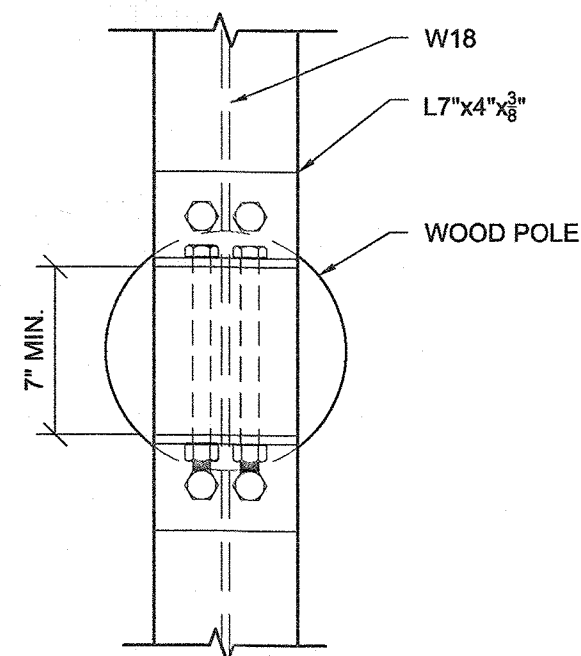
1. TB = TRUSS BEARING ELEVATION REFERENCED FROM GRADE ELEVATION 0'-0"
2. SEE SHEET S0.0 FOR GENERAL NOTES



PRINTS ISSUED		TTR Engineers 450 GRANT STREET, SUITE 130 AKRON, OH 44311 (330)733-8332 www.ttr-engineers.com	
DATE	USE		
03-12-24	FOR REVIEW		
04-02-24	FOR PERMIT	CLIENT: GRAVES LUMBER	
REVISIONS		STORAGE SHED 1315 S. CLEVELAND MASSILLON RD COPLE, OHIO 44321	
REV.	DATE		
		FRAMING PLAN	
DESIGNED:	JG	CHECKED:	BKR
DRAWN:	KLG	JOB #:	240254
DWG. NO.		S1.1	

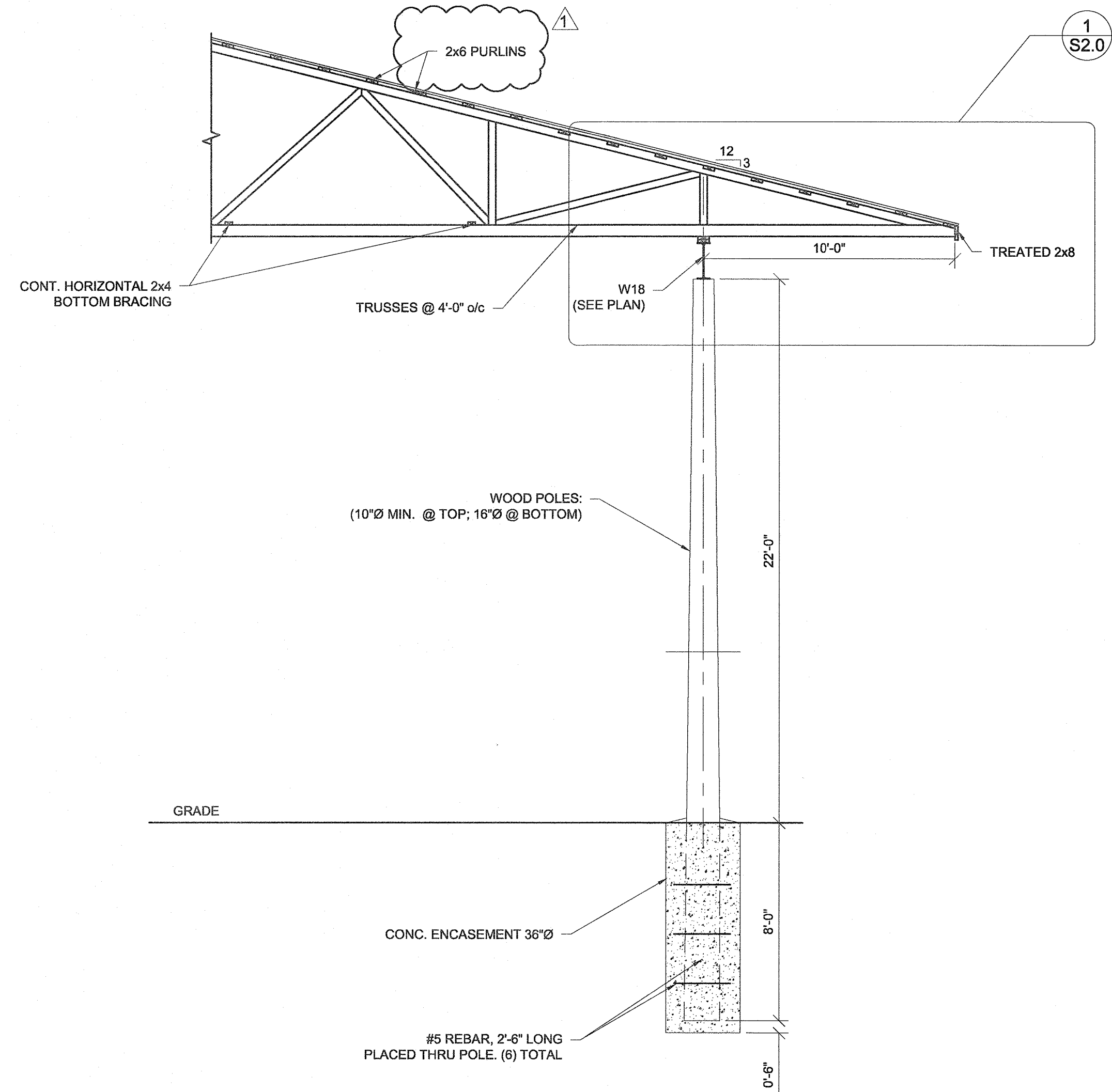
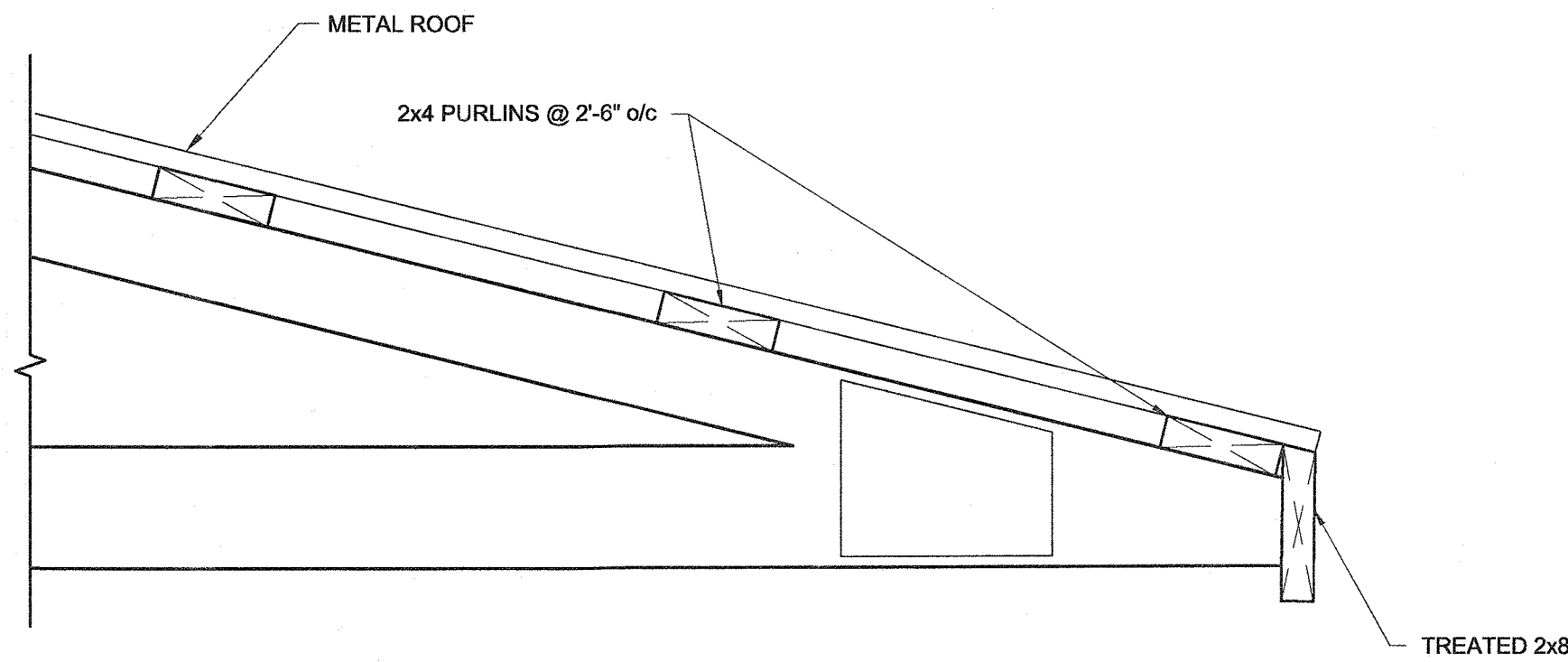


1 FRAMING SECTION
S2.0 1 1/2" = 1'-0"

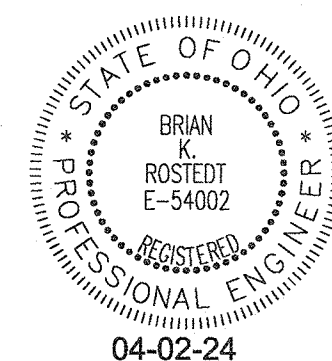


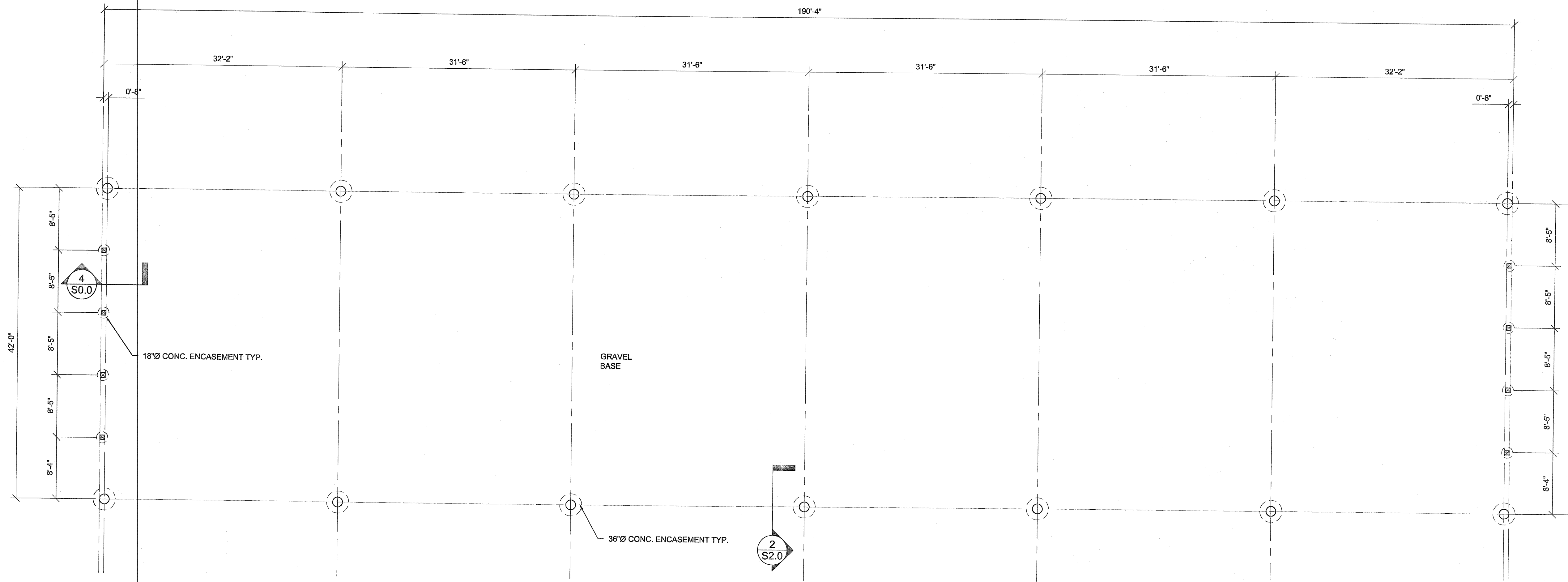
2 SECTION
S2.0 1 1/2" = 1'-0"

(3) 16d NAILS



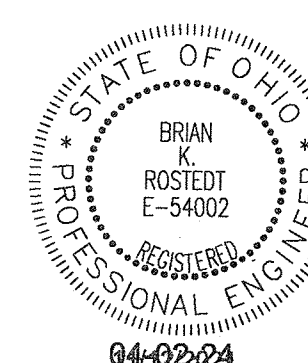
PRINTS ISSUED			<div>TTREngineers</div> <div>450 GRANT STREET, SUITE 130 AKRON, OH 44311 (330)733-8332 www.ttr-engineers.com</div>			
DATE	USE					
03-12-24	FOR REVIEW					
04-02-24	FOR PERMIT					
			CLIENT:			
			GRAVES LUMBER			
REVISIONS			STORAGE SHED			
REV.	DATE	DESCRIPTION	1315 S. CLEVELAND MASSILLON RD			
			COPLEY, OHIO 44321			
			FRAMING DETAILS			
			DESIGNED: JG		CHECKED: BKR	DWG. NO.
			DRAWN: KLG		JOB #: 240254	S2.0





1 FOUNDATION PLAN
S1.0 1/8" = 1'-0"

- FOUNDATION NOTES:
1. FOR ADDITIONAL INFORMATION AND REQUIREMENTS, SEE TYPICAL DETAILS AND GENERAL NOTES.
 2. FINISHED FLOOR (F.F.) = 0'-0" U.N.O.



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DATE	USE		
03-12-24	FOR REVIEW		
04-02-24	FOR PERMIT	CLIENT: GRAVES LUMBER	
REVISIONS		STORAGE SHED 1315 S. CLEVELAND MASSILLON RD COPLEY, OHIO 44321	
REV.	DATE	FOUNDATION PLAN	
		DESIGNED: JG CHECKED: BKR DWG. NO.	
		DRAWN: KLG JOB #: 240254 S1.0	

GENERAL NOTES

A. GENERAL

- THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH STATE OF OHIO BUILDING CODE (O.B.C.), 2017 EDITION.
- ALL CONSTRUCTION SHALL CONFORM TO THE OHIO BUILDING CODE AND TO OSHA STANDARDS, WORK STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE SITE.
- TEMPORARY BRACING OF THE STRUCTURE, TRUSSES, COLUMNS, BEAMS, WALLS, ETC. DURING CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. TEMPORARY BRACING OF THE STRUCTURE SHALL REMAIN IN PLACE UNTIL ALL LATERAL FORCE RESISTING ELEMENTS ARE INSTALLED (INCLUDING WALL AND ROOF SHEATHING). CONTRACTOR SHALL DESIGN AND COORDINATE LOCATIONS OF TEMPORARY BRACING WITH OTHER CONTRACTORS.
- FOUNDATION CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK WITH MECHANICAL AND ELECTRICAL CONTRACTORS REGARDING ITEMS CONCEALED BY OR EMBEDDED IN FOUNDATIONS, WALLS OR FLOOR SLABS.

DESIGN LOAD INFORMATION:

DEAD LOAD

1. ROOF = 10 PSF TOP CHORD & 5 PSF BOTTOM CHORD

FLOOR LIVE LOAD

1. STORAGE = 250 PSF

ROOF LIVE LOADS

1. LIVE LOAD (ROOF TRUSSES) = 20 PSF

ROOF SNOW LOAD

- GROUND SNOW LOAD (P_g) = 20.00 PSF
- FLAT ROOF SNOW LOAD (P_f) = 20.00 PSF
- SNOW EXPOSURE FACTOR (C_e) = 0.9
- SNOW LOAD IMPORTANCE FACTOR (I) = 1.0
- THERMAL FACTOR, C_t = 1.0

WIND LOAD

- ULTIMATE DESIGN WIND SPEED, V_{ult} (3 SECOND GUST) = 115 MPH
- NOMINAL DESIGN WIND SPEED, V_{nd} = 81.3 MPH
- WIND IMPORTANCE FACTOR (I_w) = 1.0, OCCUPANCY CATEGORY = I
- WIND EXPOSURE = B
- INTERNAL PRESSURE COEFFICIENT = ± 0.18

EARTHQUAKE DESIGN DATA

- SEISMIC USE GROUP = II
- SEISMIC IMPORTANCE FACTOR (I_E) = 1.00
- MAPPED SPECTRAL RESPONSE ACCELERATIONS, $S_s=13.8\%$, $S_1=5.6\%$
- SITE CLASS = D
- SPECTRAL RESPONSE COEFFICIENTS, $S_{ds}=0.15$, $S_{d1}=0.09$
- SEISMIC DESIGN CATEGORY = B
- BASIC SEISMIC-FORCE-RESISTING SYSTEM: -INVERTED PENDULUM
- DESIGN BASE SHEAR = 5k
- SEISMIC RESPONSE COEFFICIENT (C_d) = 0.076
- RESPONSE MODIFICATION FACTOR (R) = 2.0
- $V = (S_{ds})(W)(I_E)/R$ (SIMPLIFIED ANALYSIS PROCEDURE)

B. FOUNDATIONS

- ALL DRILLED PIER FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL WITH AN END BEARING CAPACITY OF 38 KIPS. FOOTINGS SHALL BE POURED THE SAME DAY THEY ARE EXCAVATED.
- COMPACT BACKFILL OVER FOOTINGS AND BENEATH SLABS ON GRADE TO AT LEAST 98% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY PER ASTM D-698 $\pm 2.0\%$ MOISTURE CONTENT. ALL FILL SHALL BE TESTED FOR IN-PLACE DENSITY TO ASSURE THAT THE COMPACTION RECOMMENDATIONS ARE ATTAINED.
- FOOTING ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE FIELD ADJUSTED IF REQUIRED.
- FOR SITE PREPARATION, EARTHWORK CONSTRUCTION, AND FOUNDATION RECOMMENDATIONS, SEE THE SUBSURFACE EXPLORATION & FOUNDATION EVALUATION REPORT PREPARED BY WERTZ GEOTECHNICAL ENGINEERING, INC. DATED APRIL 07, 2024. ALL GEOTECHNICAL WORK SHALL BE CONDUCTED IN COMPLIANCE WITH THE REQUIREMENTS FOUND IN THIS REPORT.
- A SOILS TESTING LABORATORY SHALL BE RETAINED BY THE OWNER TO PROVIDE CONSTRUCTION REVIEW TO INSURE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS DURING THE EXCAVATION, BACKFILL, AND FOUNDATION PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE SOILS TESTING LABORATORY TO: DETERMINE TOPSOIL AND EXCAVATION STRIPPING DEPTH; INSPECT ALL SUBSOIL EXPOSED DURING STRIPPING, SITE GRADING, AND EXCAVATION OPERATIONS; APPROVE FILL MATERIALS, PERFORM DENSITY TESTS OF FILLS TO INSURE PLACEMENT PER SPECIFICATION REQUIREMENTS; INSPECT FOUNDATION BEARING SURFACES.

C. CONCRETE AND REINFORCING STEEL

- ALL CONCRETE SHALL CONFORM TO THE FOLLOWING REFERENCED STANDARDS:
ACI 318-14: BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE.
ACI 315: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
ACI 305: RECOMMENDED PRACTICES FOR HOT WEATHER CONCRETING.
ACI 308: RECOMMENDED PRACTICES FOR COLD WEATHER CONCRETING.
- CAST-IN-PLACE CONCRETE FOR WOOD POLES SHALL BE 3000 PSI (W/C RATIO = 0.50) AT 28 DAYS.
- ALL CAST-IN-PLACE EXTERIOR SLAB CONCRETE AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED SHALL BE 4000 PSI (W/C RATIO = 0.50) AT 28 DAYS WITH AIR ENTRAINMENT (8% $\pm 1\%$).
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE-60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. ONLY FLAT SHEETS SHALL BE USED.
- ALL WELDED WIRE FABRIC SPLICES SHALL BE NOT LESS THAN (2) SPACINGS OF CROSS WIRES OR 6", WHICHEVER IS GREATER.
- PROVIDE A 3/4"x45" CHAMFER ON ALL EXPOSED EDGES OF CONCRETE.
- A CURING COMPOUND IS TO BE APPLIED TO THE CONCRETE AFTER FINISHING.

D. WOOD FRAMING

- QUALITY AND CONSTRUCTION OF WOOD FRAMING MEMBERS AND THEIR FASTENERS FOR LOAD SUPPORTING PURPOSES NOT OTHERWISE INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE OHIO BUILDING CODE.
- ALL WOOD SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, NDS (2018 EDITION) AND THE 2017 OHIO BUILDING CODE CHAPTER 23.
- STUDS (SPF, NO.1/NO.2, OR DOUGLAS FIR), DESIGN VALUES SHALL EQUAL OR EXCEED THE FOLLOWING:
.a. F_b : 875 P.S.I.
.b. F_v : 135 P.S.I.
.c. E : 1,400,000 P.S.I.
- TIMBER POLES (SOUTHERN PINE (GROUP B PER ANSI O5.1-2022 DESIGN VALUES) SHALL EQUAL OR EXCEED THE FOLLOWING:
.a. FIBER STRENGTH OF 8000 PSI
.b. E : 2,380,000 P.S.I.
ADDITIONALLY, THEY SHALL BE TREATED W/DCOI 0.15 PCF PER CURRENT AWPA SPECIFICATIONS
- NAILING OF ALL FRAMING MEMBERS SHALL MEET THE RECOMMENDED NAILING SCHEDULE (TABLE 2304.10.1) CONTAINED IN THE OBC, CHAPTER 23.
- ERECTION PLANS FOR ALL TRUSSES SHALL BE SUBMITTED FOR REVIEW WITH SHOP DRAWINGS PRIOR TO FABRICATION. ERECTION PLANS SHALL INCLUDE HOW AND WHERE THE PERMANENT BRIDGING WILL BE INSTALLED. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER OF OHIO REGISTRATION. TEMPORARY AND PERMANENT BRIDGING AND BRACING OF WOOD ROOF AND FLOOR TRUSSES SHALL BE IN ACCORDANCE WITH THE TRUSS INSTITUTE, INC. TEMPORARY BRIDGING SHALL BE FURNISHED AS REQUIRED TO MAINTAIN TRUSS STABILITY, SPACING AND TO PREVENT BUCKLING DURING ERECTION. LIVE LOAD DEFLECTION FOR ROOF TRUSSES IS LIMITED TO $L/360$ AND TOTAL LOAD DEFLECTION $L/240$.
- PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S NATIONAL DESIGN STANDARD FOR METAL-PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TP-1 LATEST EDITION). TRUSSES SHALL BE DESIGNED AND MANUFACTURED BY AN AUTHORIZED MEMBER OF THE WOOD TRUSS COUNCIL OF AMERICA (WTCA). TRUSS DESIGN SHALL CONFORM TO SPECIFIED CODES, ALLOWABLE STRESS INCREASES, DEFLECTION LIMITATIONS, AND OTHER APPLICABLE CRITERIA OF THE GOVERNING CODE.
- OVERHANG MUST BE DESIGNED FOR A MIN. ULTIMATE WIND LOAD OF 15 PSF.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED OR APPROVED.
- BOLTS HOLES SHALL BE $\frac{1}{8}"$ MAXIMUM LARGER THAN THE BOLT SIZE. RE-TIGHTEN ALL NUTS PRIOR TO CLOSING IN.
- $2 \times 2\frac{1}{2}"$ PLATE WASHERS SHALL BE USED UNDER BOLT HEADS AND NUTS AGAINST WOOD.
- SERVICE CONDITION - DRY WITH MOISTURE CONTENT AT OR BELOW 19% IN SERVICE.
- CONTRACTOR SHALL COORDINATE TRUSS LAYOUT FOR OPENINGS AND PENETRATIONS REQUIRED BY OTHER TRADES INCLUDING FOR PLUMBING, HVAC, ELECTRICAL, ROOF ACCESS HATCHES, CHASES, ETC.

E. STRUCTURAL STEEL

- STRUCTURAL STEEL HAS BEEN DESIGNED IN ACCORDANCE WITH ANSI/AISC 360-10 (AMERICAN INSTITUTE OF STEEL CONSTRUCTION), SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
- ALL W SHAPES SHALL CONFORM TO ASTM A-992 ($F_y=50$ KSI) SPECIFICATIONS. ALL OTHER STRUCTURAL STEEL SHAPES AND PLATE SHALL CONFORM TO MINIMUM ASTM A-36 SPECIFICATIONS.
- ALL BOLTS SHALL CONFORM TO A325N SPECIFICATIONS WITH THREADS IN SHEAR PLANE UNLESS NOTED OTHERWISE
- WELDING SHALL CONFORM TO ASW "STRUCTURAL WELDING CODE", E70XX ELECTRODES.

F. SUBMITTALS

- THE GENERAL CONTRACTOR SHALL SUBMIT FOR ENGINEER REVIEW SHOP DRAWINGS FOR THE FOLLOWING ITEMS:

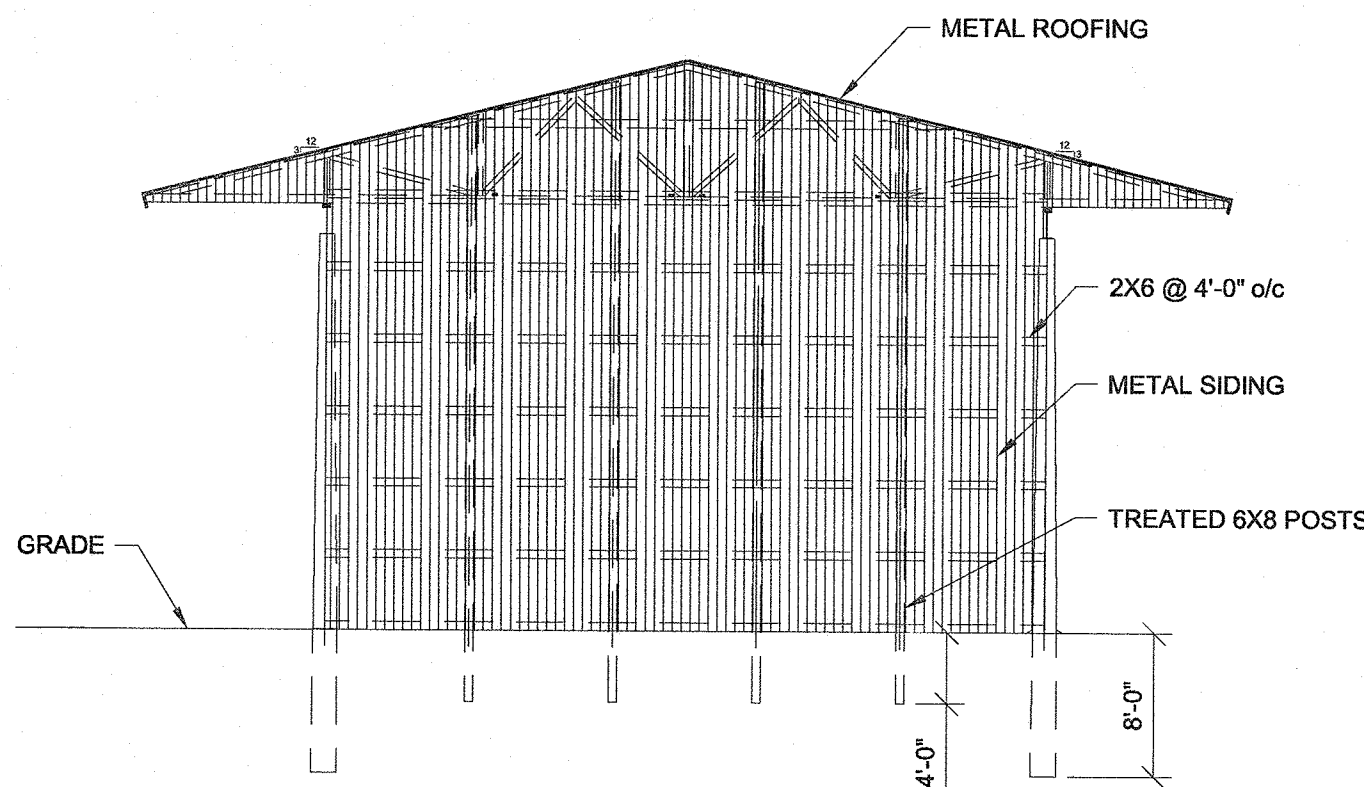
STEEL SHOP DRAWINGS
ROOF TRUSSES (*) (#)

ITEMS MARKED (*) SHALL HAVE SHOP DRAWINGS SEALED BY A REGISTERED ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED. ITEMS MARKED (#) SHALL BE SUBMITTED TO ENGINEER FOR OWNER'S RECORD ONLY AND WILL NOT HAVE ENGINEER'S SHOP DRAWINGS STAMP. ITEMS MARKED (*) SHALL HAVE CALCULATIONS PREPARED BY A REGISTERED ENGINEER.
- ALL SHOP DRAWINGS MUST BE REVIEWED AND SEALED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL.
- CONTRACTOR SHALL SUBMIT ELECTRONIC COPIES (E.G. PDFS) OF ALL SHOP DRAWINGS SPECIFIED TO BE RETURNED BY THE ENGINEER.
- THE OMISSION FROM THE SHOP DRAWINGS OF ANY MATERIAL REQUIRED BY THE CONTRACT DOCUMENTS TO BE FURNISHED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING AND INSTALLING SUCH MATERIALS, REGARDLESS OF WHETHER THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED.
- SUBMIT TWO COPIES OF MANUFACTURER'S LITERATURE FOR ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION ON THE PROJECT.

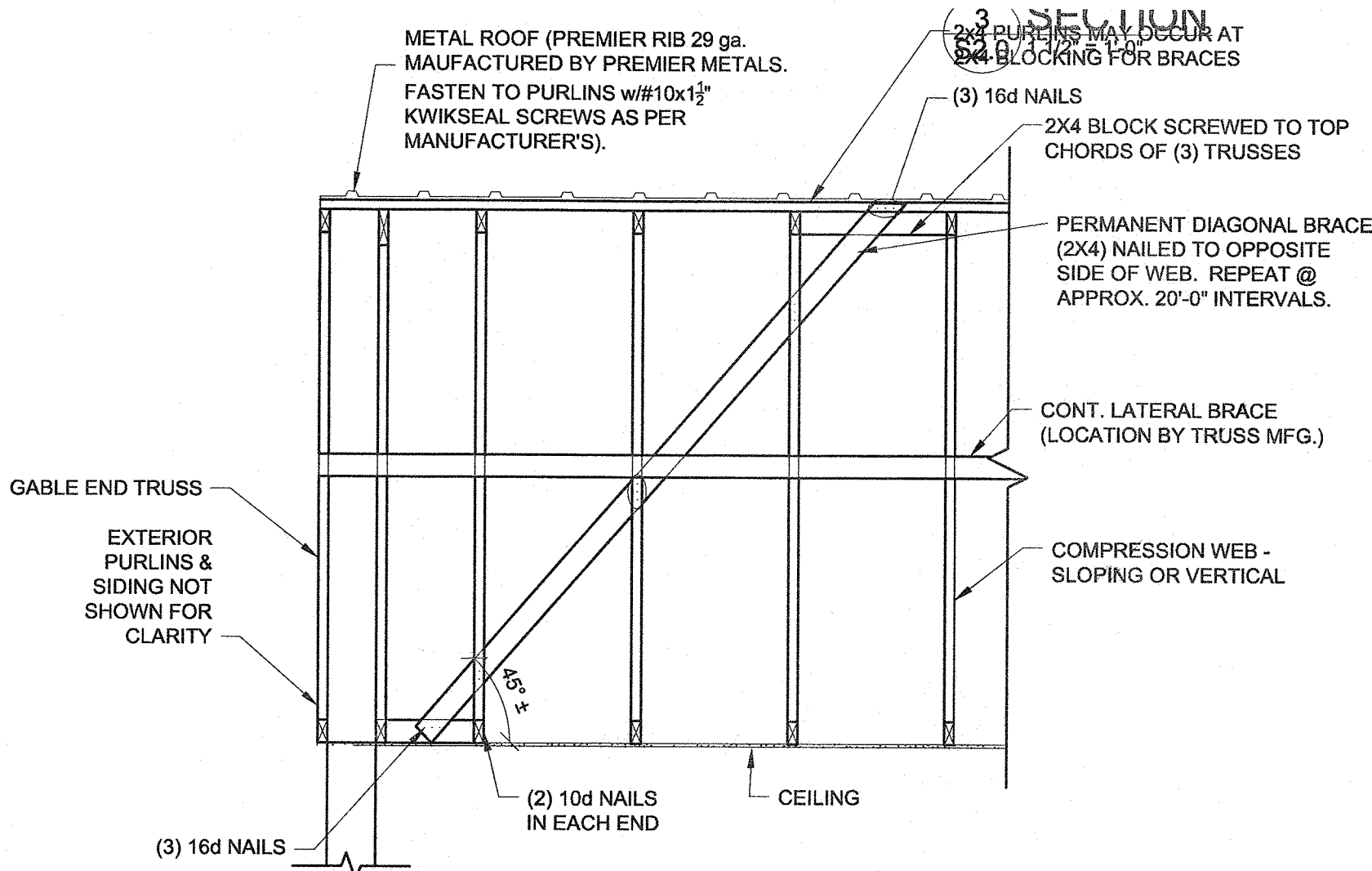
CODE SUMMARY

BUILDING USE GROUP = S-1
ALLOWABLE AREA = 12,000 S.F.
ACTUAL AREA = 11,800 S.F.
CONSTRUCTION TYPE = 5B

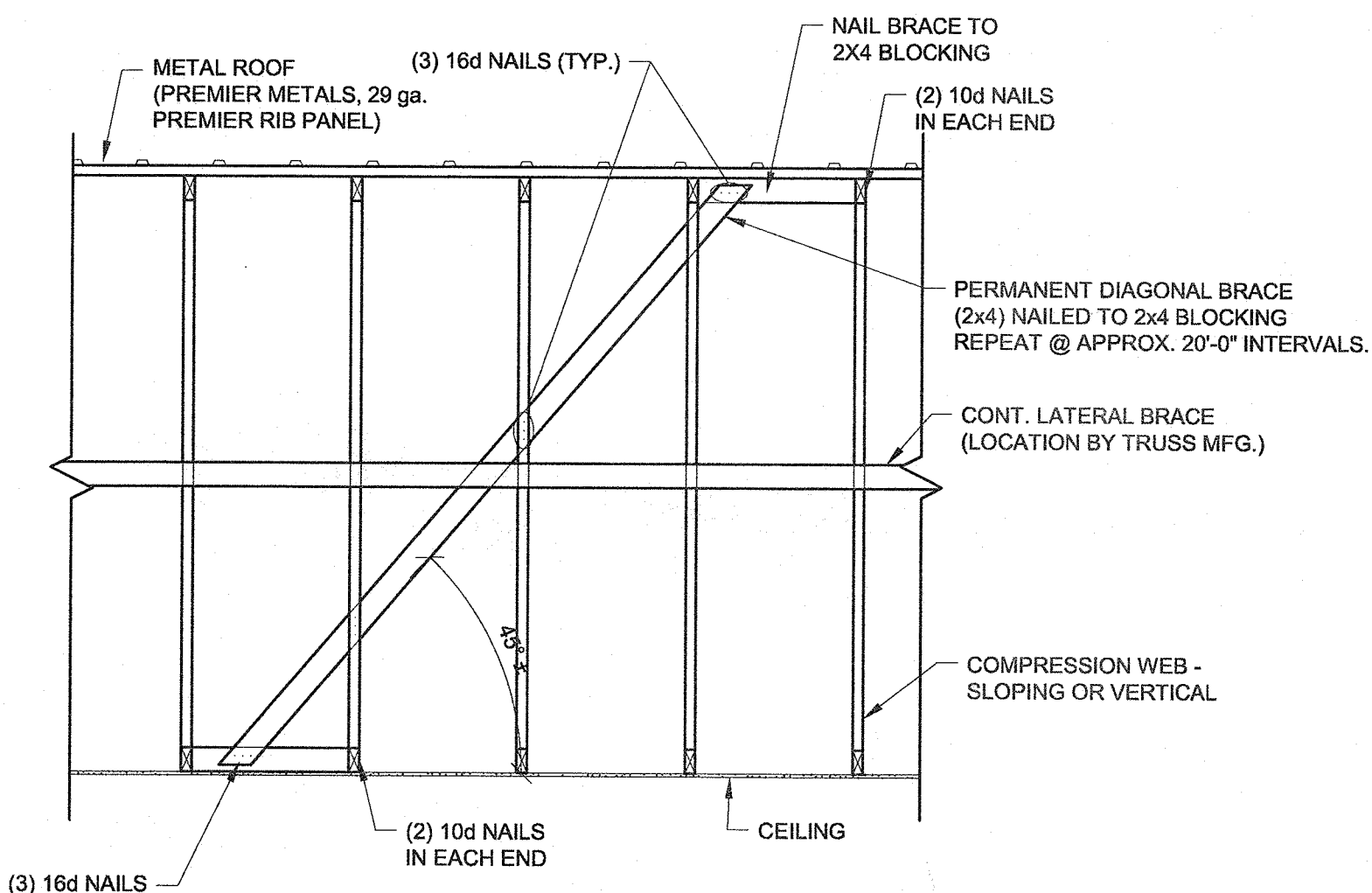
NO RESTROOMS OR PLUMBING IS INCLUDED WITH THIS PROJECT.



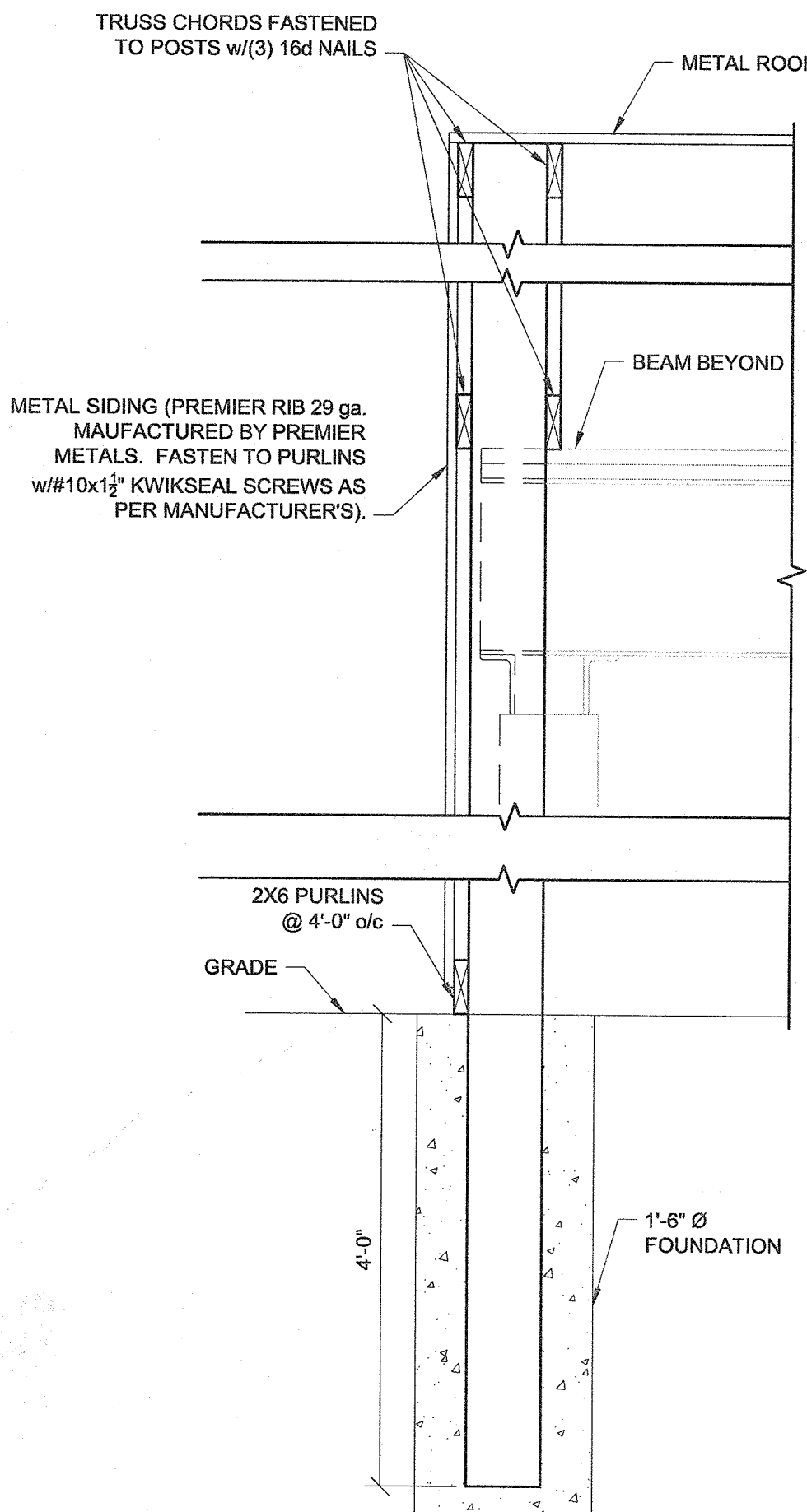
1 END ELEVATION
S0.0 3/32" = 1'-0"



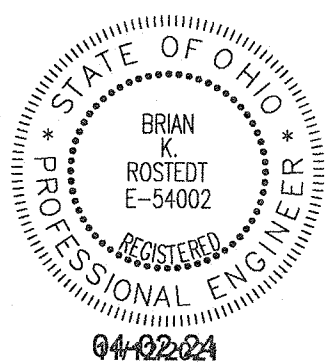
2 END TRUSS DIAGONAL BRACING DETAIL
S0.0 1/2" = 1'-0"



3 DIAGONAL TRUSS BRACING DETAIL
S0.0 1/2" = 1'-0"



4 END WALL SECTION
S0.0 3/4" = 1'-0"



PRINTS ISSUED		TTR Engineers 450 GRANT STREET, SUITE 130 AKRON, OH 44311 (330)733-8332 www.ttr-engineers.com		
DATE	USE			
03-12-24	FOR REVIEW			
04-02-24	FOR PERMIT			
		CLIENT: GRAVES LUMBER		
		STORAGE SHED 1315 S. CLEVELAND MASSILLON RD COPLEY, OHIO 44321		
		GENERAL NOTES/DETAILS		
		DESIGNED: JG	CHECKED: BKR	DWG. NO. S0.0
		DRAWN: KLG	JOB #: 240254	

COPLEY TOWNSHIP
ARCHITECTURAL REVIEW BOARD
1315 S CLEVELAND MASSILLON RD
GRAVES LUMBER
STAFF REPORT



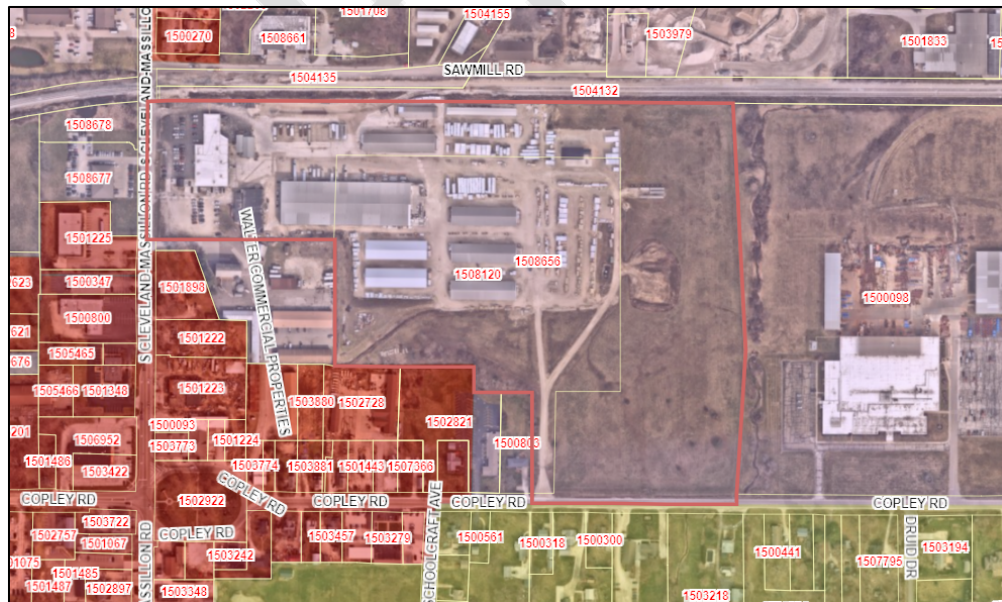
January 5, 2026

PROJECT: Graves Lumber-Unenclosed Warehouse (Shed) 1315 S Cleveland Massillon Road PPN: 1507037	APPLICATION TYPE: Major Site Plan-New Commercial Structure
APPLICANT/LANDOWNER	APPLICANT: Jeremy Simmons LANDOWNER: Graves Lumber Co.
COMPANY PERFORMING WORK REQUESTED	Davey Resource Group
INVESTMENT	\$150,000
APPLICATION SUMMARY	Applicant, Jeremy Simmons, on behalf of Graves Lumber is requesting to construct a new unenclosed warehouse (shed) for the purpose of storing lumber and materials related to the business.
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Article 5, Section 5.01 I-Industrial, D. Development Standards D. Development Standards 1. Minimum Front Yard Setback From the Street Right-of-Way Line - Twenty-five (25) feet except as otherwise required in this Article. 2. Minimum Rear Yard Setback - Twenty-five (25) feet except as otherwise required in this Article. 3. Minimum Side Yard Setback - Twenty-five (25) feet except as otherwise required in this Article. 4. Height Regulations - No building shall exceed Fifty (50) feet in height, except as provided otherwise in this Resolution. 5. Off-Street Parking - As regulated by Article 9 of this Resolution. 6. Sidewalk and/or Shared Use Path - New buildings, structures, and parking areas shall include the installation of a sidewalk and/or shared use path. The sidewalk and/or shared use path shall connect to similar facilities on adjacent property. In special cases, such as if no adjacent property sidewalk or shared use path exists, the facility type(s) and location shall be approved by Copley Township Community and Economic Development Staff via Site Plan review. See Section 13 of this document.

GENERAL LOCATION	1315 S Cleveland Massillon Road is located on the east side of S Cleveland Massillon Road, north of Copley Road and south of Sawmill Road.
ACREAGE	In total, the Graves Lumber site encompasses 39 acres of Industrially zoned land in Copley Township.
ZONING	I-Industrial
EXTERNAL AGENCY REVIEW	Summit County Engineers Office Summit Soil & Water Conservation District
STAFF NOTE(S)	Approval conditioned upon satisfying all jurisdictional agency requirements.

PROPERTY LOCATION

SITE	ZONING	LAND USE
North	I	Industrial
South	I/C-GR	Industrial/Commercial
West	I/C-GR	Industrial/Commercial
East	I	Industrial



PROJECT BACKGROUND AND DESCRIPTION

Applicant, Jeremy Simmons, on behalf of Graves Lumber is requesting to construct a new unenclosed warehouse (shed) for the purpose of storing lumber and materials related to the business.

The structure is 11,800 square feet in overall area (42' x 190').

The structure is comprised of wood frame, metal siding and metal roofing.

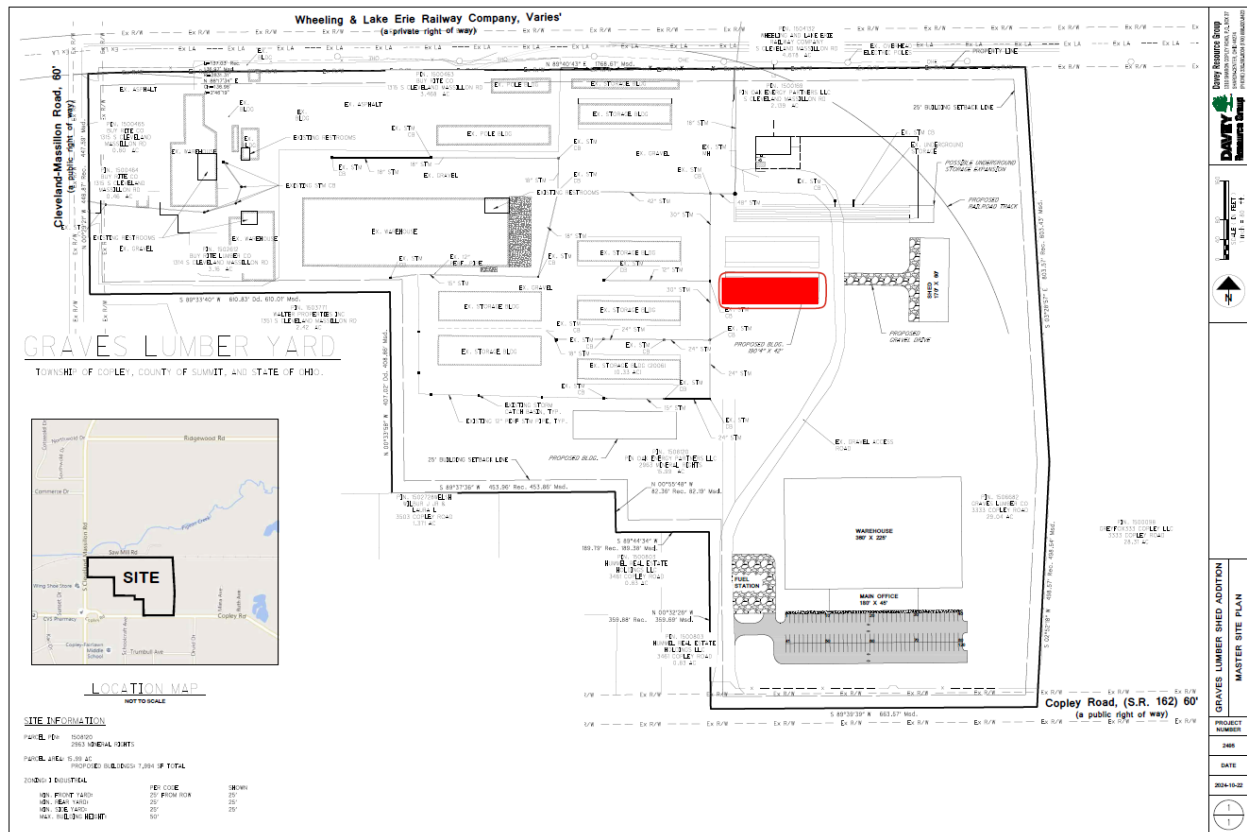
ARTICLE 5-SECTION 5.01 D. DEVELOPMENT STANDARDS

- 25' Minimum Front Yard Setback: Proposed Setback-1200'+ from the road right of way
- 25' Minimum Rear Yard Setback: Proposed Setback-443' from the rear yard property line.
- 25' Minimum Side Yard Setback: Proposed Setback- North: 300'; South: 900' (Copley Road)
- The structures are separated by a minimum of 30' in all directions and will meet the requirements of the Ohio Fire Code. The structures will maintain a 60' separation from overhand to overhang
- 50' Maximum Building Height: The structure will be 30' in overall height

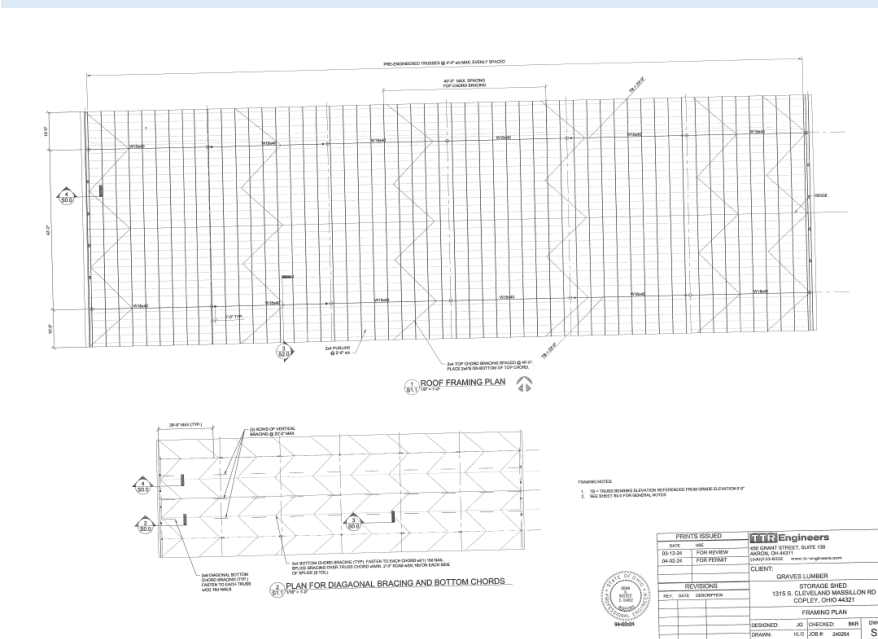
The proposed structures will mirror the design of the existing unenclosed warehouses currently located on site.

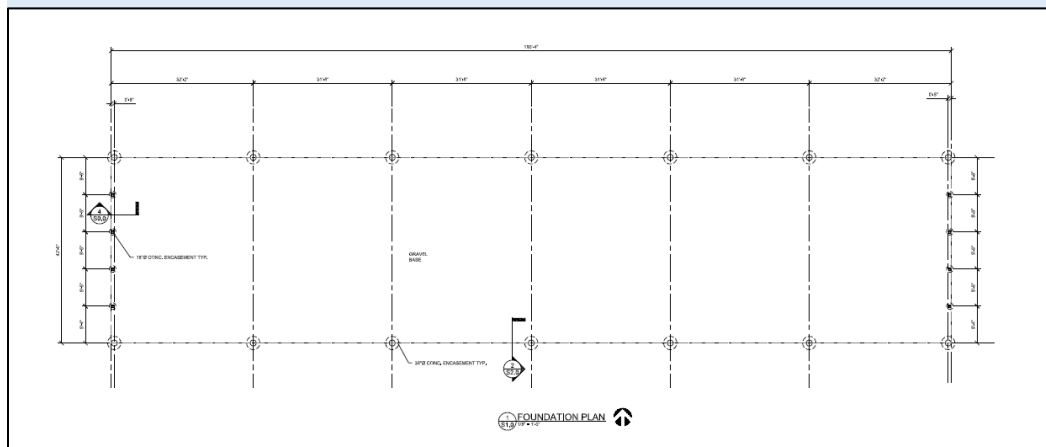
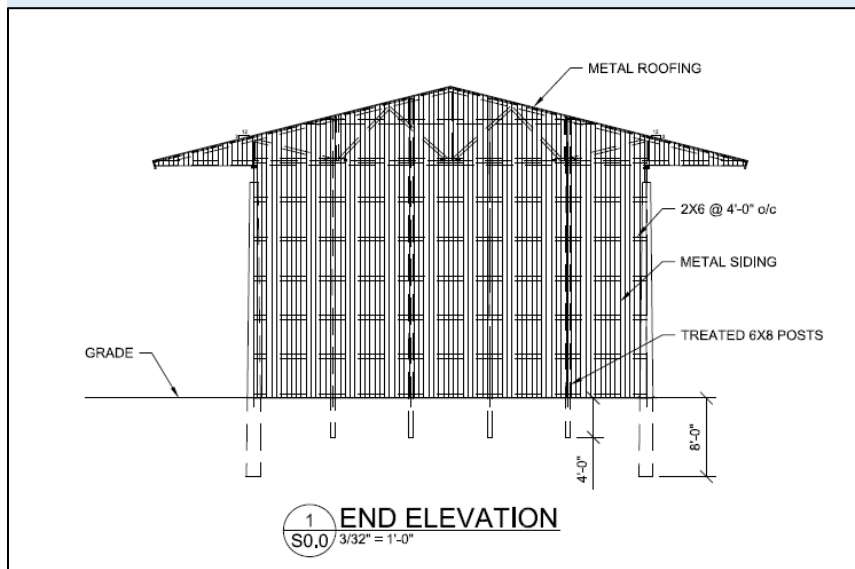


PROPOSED LOCATION OF NEW STRUCTURE



RENDERINGS & FOUNDATION PLAN





EXTERNAL REVIEW CRITERIA

SUMMIT COUNTY ENGINEERS OFFICE

Grading Permit required. No detention is required for this project.

- *The new underground storage completed in 2024 was designed to address the additional impervious area for structures on the east side of the existing gravel access road.*
- *A grading permit prior to construction, primarily for purposes of showing the roof drain/down spout locations.*

SUMMIT SOIL & WATER CONSERVATION DISTRICT

The shed will involve a sub-one acre disturbance and will not create any additional impervious area. As such, no plan reviews will be required by our office.

INTERNAL REVIEW CRITERIA

COPLEY TOWNSHIP FIRE DEPARTMENT

The Fire Department requires drivable vehicle access to all sides of the buildings. The building shall be designed to the most current Ohio building and fire codes for its designated use group.

COPLEY TOWNSHIP DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT

The Community and Economic Development Department is in support of the applicants request to construct an enclosed warehouses for the purposes of storing lumber and building materials. Graves Lumber currently occupies forty (40) plus acres of industrial land in Copley and continues to expand and reinvest their facilities here in Copley.

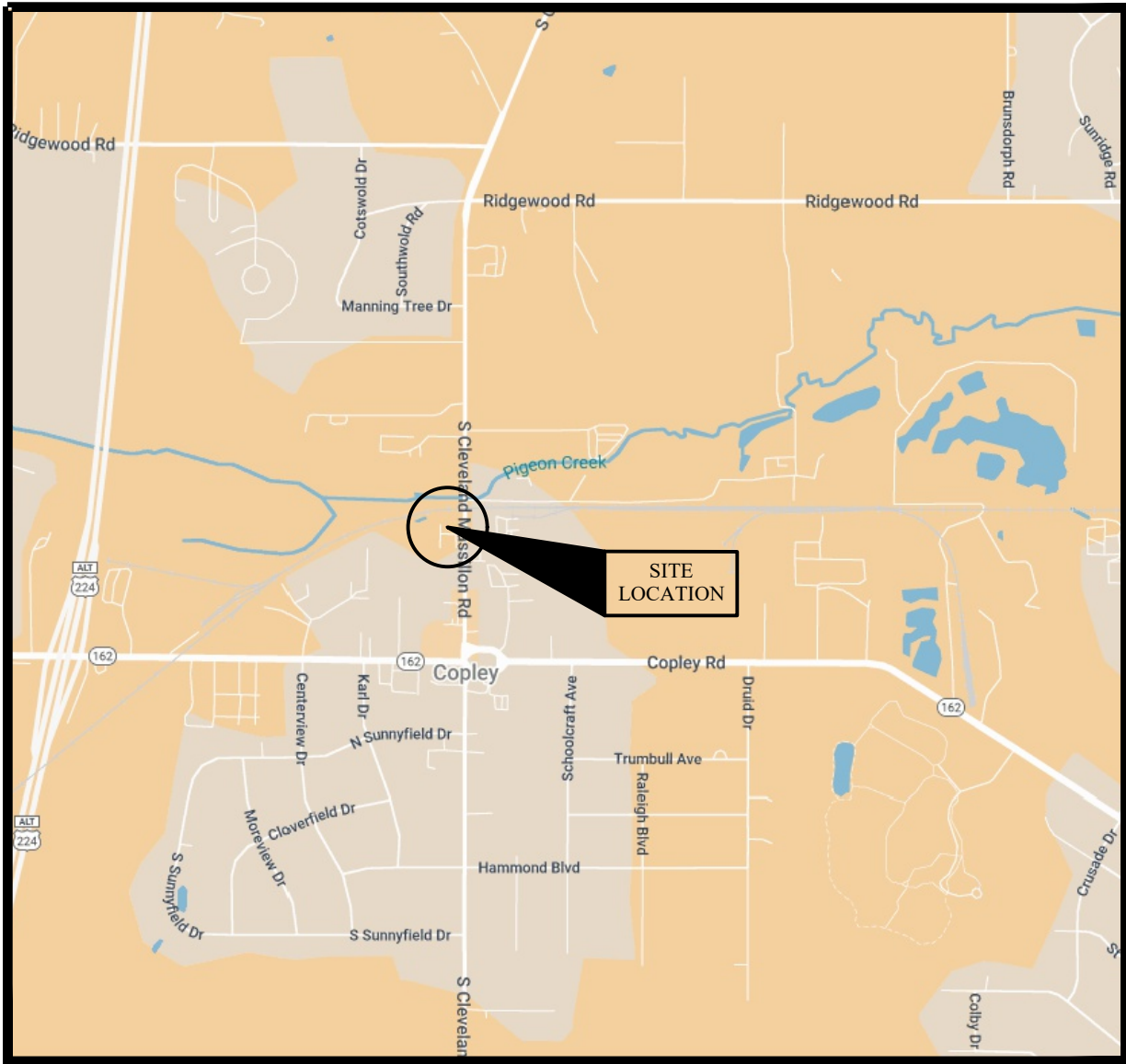
SUGGESTED MOTIONS AND AUTHORITY TO PROCEED

The Copley Township Architectural Review Board motioned to (approve/approve with condition/deny) the applicants request to construct a new 11,800 square foot unenclosed warehouse (shed).

STAFF NOTES: Approval conditioned upon satisfying all jurisdictional agency requirements.

AUTOBAHN SERVICE CENTER, INC.

COPLEY TOWNSHIP
COUNTY OF SUMMIT
STATE OF OHIO
SEPTEMBER - 2025



VICINITY MAP
NO SCALE



SUMMIT COUNTY ENGINEER
REVIEWED BY: ANDY DUNCHUCK, P.E., SUMMIT COUNTY ENGINEER'S OFFICE

SUMMIT COUNTY ENGINEER'S OFFICE _____ DATE _____

SUMMIT COUNTY ENGINEER _____ DATE _____

SUBMITTED BY:  _____ DATE: 12-05-2025
MATTHEW L. WEBER REG. ENGINEER NO. 61709

CONTACT PERSONS:

ZONING
COPLEY TOWNSHIP
1540 S. CLEVELAND MASSILLON RD.
COPLEY, OHIO 44321
MATT SPRINGER
SHAWNA GFROERER - (330) 666-0108

ENGINEERING
SUMMIT COUNTY ENGINEER
538 E. SOUTH ST.
AKRON, OHIO 44311
TIM BOLEY (330) 643-2850

SANITARY SEWER
DEPARTMENT OF SANITARY SERVICES
1180 S. MAIN STREET - SUITE 201
AKRON, OHIO 44301
ROSS NICHOLSON (330) 926-2477

ELECTRIC
FIRST ENERGY
1910 W. MARKET ST.
AKRON, OHIO 44313
(330) 384-4720

WATER
CITY OF AKRON WATER SUPPLY BUREAU
1460 TRIPLETT BLVD.
AKRON, OHIO 44306
BOB GEISER, P.E.
(330) 375-2791

TELEPHONE
VERIZON
6223 NORWALK RD.
MEDINA, OH 44256
(330) 722-9506

GAS
DOMINION EAST OHIO GAS CO.
2100 EASTWOOD AVE.
AKRON, OHIO 44305
(330) 742-8124

CABLE TV
TIME WARNER CABLE
1200 BROWNSTONE RD.
AKRON, OHIO 44310
CHARLES TONEY - (330) 630-7950

EROSION CONTROL
SUMMIT SOIL AND WATER CONSERVATION DISTRICT
1180 S. MAIN STREET
AKRON, OHIO 44301
JULIE BERBARI (330) 929-2443

DESCRIPTION

TITLE SHEET
GENERAL NOTES
DEMOLITION PLAN
SITE PLAN
UTILITY & GRADING PLAN
SITE DETAILS
SWP3
SWP3 DETAILS

INDEX

SHEET NO.

C100
C100A
C101
C102
C103
C104
C105-C105A
C106-C107


SERVICES
Where Strong Relationships & Superior Service Guide Your Project
2555 Hartville Rd., Suite B
Rootstown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com



Reg. No.: 61709

CLIENT:

DAVID W. SMITH,
ARCHITECT, LLC

1390 PARTRIDGE LANE
AKRON, OHIO
44333

OWNER:

COPLEY
HOLDINGS, LLC

1330 SOUTH CLEVELAND
MASSILLON ROAD
COPLEY, OH
44321

AUTOBAHN SERVICE CENTER, INC.
BUILDING ADDITION
1330 S. CLEVELAND MASSILLON RD. COPLEY, OH

Issue Date

09-16-2025
10-27-2025
12-05-2025

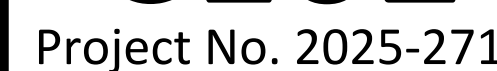
TITLE
SHEET

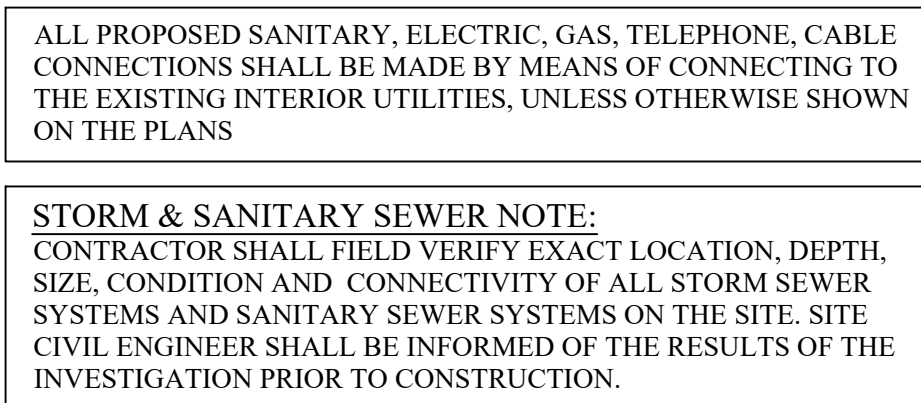
C100

Project No. 2025-271









(IN FEET)
1 inch = 20 ft.

SWP3 Amendment Log

Project Name: Autoban Service Center, Inc.

Amendment No.	Description of the Amendment	Date of Amendment	Amendment Prepared By

Corrective Action Log

Project Name: Autoban Service Center, Inc.

Inspection Date	Inspector Name	Description of Corrective Action Needed (From Inspection Report)	Corrective Action Taken	Date Action Taken

SWP3 Grading and Stabilization Activities Log

Project Name: Autoban Service Center, Inc.

Date Grading Activity Initiated	Description of Grading Activity	Date Grading Activity Ceased Indicate temporary or permanent	Data When Stabilization Measures are Initiated	Description of Stabilization Measure and Location

SWP3 Inspection Report Log

Project Name: Autoban Service Center, Inc.

Inspection #	Name of Inspector	Date of Inspection	Rain Event	Type of Corrective Action Required
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				

Subcontractor Certifications/Agreements

SUBCONTRACTOR CERTIFICATION
STORMWATER POLLUTION PREVENTION PLAN

Project Number: 2025-271

Project Title: Autoban Service Center, Inc.

Operator(s): Copley Holdings, LLC

As a subcontractor, you are required to comply with the Stormwater Pollution Prevention Plan (SWP3) for any work that you perform on-site. Any person or group who violates any condition of the SWP3 may be subject to substantial penalties or loss of contract. You are encouraged to advise each of the employees working on this project of the requirements of the SWP3. A copy of the SWP3 is available for review at the office trailer.

Each subcontractor engaged in activities at the construction site that could impact stormwater must be identified and sign the following certification statement:

I certify under the penalty of law that I have read and understand the terms and conditions of the SWP3 for the above designated project and agree to follow the practices described in the SWP3.

This certification is hereby signed in reference to the above named project:

Company:

Address:

Telephone number:

Type of construction service to be provided:

Signature:

Title:

Date:

Delegation of Authority Form

Delegation of Authority

I, _____ (name), hereby designate the person or specifically described position below to be a duly authorized representative for the purpose of overseeing compliance with environmental requirements, including Ohio EPA's Construction General Permit (CGP), at the Autoban Service Center, Inc., construction site. The designee is authorized to sign any reports, stormwater pollution prevention plans, and all other documents required by the permit.

_____(name of person or position)
_____(company)
_____(address)
_____(city, state, zip)
_____(phone)

By signing this authorization, I confirm that I meet the requirements to make such a designation as set forth in Part V.G.2 of Ohio EPA's CGP.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I have no personal knowledge that the information submitted is other than true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name:

Company:

Title:

Signature:

Date:



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www.WeberEngineeringServices.com
330-329-2037
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OWNER:

COPLEY
HOLDINGS, LLC

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AUTOBAHN SERVICE CENTER, INC.

BUILDING ADDITION

1330 S. CLEVELAND MASSILLON RD. COPLEY, OH

Issue Date

09-16-2025
10-27-2025
12-05-2025

SWP3

C105A

Project No. 2025-271

1. Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:

- Prevent spills
- Use products up
- Follow label directions for disposal
- Remove lids from empty bottles and cans when disposing in trash
- Recycle wastes whenever possible
- Don't pour into waterways, storm drains or onto the ground
- Don't pour down the sink, floor drain or septic tanks
- Don't bury chemicals or containers
- Don't bum chemicals or containers
- Don't mix chemicals together

2. **Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site.** Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.

3. **No construction related waste materials are to be buried on-site.** By exception, clean fill (bricks, hardened concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.

4. **Handling Construction Chemicals.** Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.

5. **Equipment Fueling and Maintenance,** oil changing, etc. ., shall be performed away from watercourses, ditches or storm drains. in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.

6. **Concrete Wash Water** shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.

7. **Spill Reporting Requirements:** Spills on pavement shall be absorbed with sandvst or kitty litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.

8. **Contaminated Soils.** If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water runoff associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.

9. **Open Burning.** No materials containing rubber, grease, asphalt, or petroleum products, such as tires, auto parts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporation limits; 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000; and 3) a one mile zone outside of a corporation of 10, 000 or more. Outside of restricted areas, no open burning is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA) , and agricultural wastes, excluding buildings.

10. **Dust Control or dust suppressants** shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.

11. **Other Air Permitting Requirements:** Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.

12. **Process Waste Water/Leachate Management.** Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or seprage is discharged; it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.

13. **A Permit To Install (PTI)** is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.

OHIO EPA PERMIT NO. OHC000006

PART III G. SWP3 REQUIREMENTS

- RESIDENTIAL DEVELOPMENT
- TOTAL SITE AREA - 1.84 AC. - DISTURBED AREA = 0.78 AC.
- PRE-CONSTRUCTION RUNOFF COEFFICIENT - C=0.73;
- POST-CONSTRUCTION RUNOFF COEFFICIENT - C=0.74
- IMPERVIOUS AREA = 1.11 AC. (ENTIRE SITE), PERCENT IMPERVIOUS = 60.3%.
- SOIL TYPES:

CoC2 - Chili gravelly loam, 6 to 12% slopes, moderately eroded
CuB - Chili-Urban land complex, undulating

- PRIOR LAND USE: DEVELOPED BUSINESS
- CONSTRUCTION SEQUENCE - SEE IMPROVEMENT PLANS
- UNNAMED TRIBUTARY TO PIGEON CREEK

- NO WETLANDS
- NOT SUBDIVIDED (MEASURES IDENTIFIED ON PLANS)
- NOT APPLICABLE
- PERMIT REQUIREMENTS ATTACHED. (FIELD COPY)
- IDENTIFIED ON SHEET C105
- IDENTIFIED ON SHEET C105
- SITE MAP SHOWN ON PLANS

- LIMITS OF CONSTRUCTION IDENTIFIED ON THE PLANS (LC).
- SOIL TYPES IDENTIFIED ON THE PLANS
- DRAINAGE WATER SHEDS IDENTIFIED ON THE PLANS.
- THERE ARE NO WETLANDS ON THE SITE. NO SPRINGS, LAKES OR WATERS WELLS WITHIN 200 FEET OF THE SITE.
- EXISTING & PLANNED LOCATIONS OF BUILDINGS, ROADS, PARKING FACILITIES AND UTILITIES ARE IDENTIFIED ON THE PLANS.
- EROSION AND SEDIMENT CONTROL PRACTICES ARE IDENTIFIED ON THE PLANS.
- SEDIMENT & STORM WATER MANAGEMENT DATA IS IDENTIFIED ON THE PLANS.
- PERMANENT STORM WATER MANAGEMENT PRACTICES ARE IDENTIFIED ON THE PLANS.
- CEMENT TRUCK WASHOUT, DUMPSTER & VEHICLE FUELING AREA ARE IDENTIFIED ON THE PLANS.

- CONSTRUCTION ENTRANCE IS IDENTIFIED ON THE PLANS.
- NOT APPLICABLE.
- TEMPORARY SEEDING AND PERMANENT SEEDING MEASURES ARE IDENTIFIED ON THE PLANS.
- TABLE 1 & TABLE 2 HAVE BEEN IDENTIFIED ON THE PLANS.
- NOT APPLICABLE.
- SHEET FLOW RUNOFF HAS BEEN CONTROLLED BY MEANS OF SILT FENCE AND DIRECTED TOWARDS UNDISTURBED SOILS. POINT DISCHARGES HAVE BEEN CONTAINED WITHIN STORM SEWERS.
- SEDIMENT CONTROL HAS BEEN MANAGED BY MEANS OF SILT FENCE.

- NOTED THROUGHOUT THE PLANS.
- SILT FENCE UTILIZED.
- SILT FENCE IS IDENTIFIED ON THE PLANS.
- INLET PROTECTION IS IDENTIFIED ON THE PLANS.
- NOT APPLICABLE.
- NOTED ON THE IMPROVEMENT PLANS.
- POST-CONSTRUCTION MAINTENANCE AND INSPECTION IS IDENTIFIED ON THE PLANS.

- LARGE CONSTRUCTION ACTIVITIES - NOT APPLICABLE
- SMALL CONSTRUCTION ACTIVITIES - RATIONALE IDENTIFIED ON PLANS
- SURFACE WATER PROTECTION - NOT APPLICABLE
- OTHER CONTROLS

- CEMENT TRUCK WASHOUT AREA IS IDENTIFIED ON THE PLANS.
- DUST CONTROL MEASURES AND VEHICLE TRACKING ARE IDENTIFIED ON THE PLANS.

- ADDITIONAL NOTES ARE IDENTIFIED ON THE PLANS.
- NOTED ON THE PLANS.
- NOTED ON THE PLANS.

- NOTED THROUGHOUT THE PLANS.
- INSPECTION FREQUENCY AND INSPECTION CHECKLIST IS NOTED ON THE PLANS.
- NOTED ON THE PLANS.
- NOTED ON THE PLANS.
- STATEMENT NOTED.
- APPROVED STATE OR LOCAL PLANS
- STATEMENT NOTED.
- EXCEPTIONS
- STATEMENT NOTED.

CONSTRUCTION SEQUENCE

(ALL ITEMS ARE TO BE THE RESPONSIBILITY OF THE GENERAL SITE CONTRACTOR)

SITE PREPARATION

NOTE:

PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL, AS SPECIFIED BY THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED NPDES PERMIT AND SIGN THE PERMIT TO ACCEPT RESPONSIBILITIES AS THE CO-PERMITTEE.

INITIAL PHASE (WITHIN 7 DAYS OF START OF GRUBBING)

- SETUP CONSTRUCTION TRAILER ON SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE AS NECESSARY.
- ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- STAKEOUT LIMITS OF DISTURBANCE.
- INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS WITHIN LIMITS OF CONSTRUCTION. REMOVE SILT PROTECTION FROM DESIGNATED INLETS ONLY WHEN INLET STRUCTURE IS TO BE REMOVED AS REQUIRED BY PROGRESSION OF CONSTRUCTION. REFER TO PLANS FOR IDENTIFICATION OF INLET STRUCTURES TO BE REMOVED.
- INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS.
- BEGIN SITE CLEARING.
- REMOVE TOPSOIL FROM AREAS OF BUILDING AND PAVEMENT.
- BEGIN EARTHWORK OPERATIONS.
- IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER E.P.A. REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SYSTEM. REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL, MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC., THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS: STRAW-IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY. TO THE SOIL. SURFACE FERTILIZER, FOR UNIFORM DISTRIBUTION OR HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS-IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT. OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS/AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICAL-A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN AN MULCH NETTINGS-NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (ACR-TAC), DCA-76, PETROSET, TERRA-TACK OR EQUIVALENT MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBER-BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./1,000 GAL.

INTERIM PHASE GENERAL CONSTRUCTION

- MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK.
- BEGIN EARTHMOVING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION AND SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL. THE CONTRACTOR IS TO COORDINATE WITH OWNER THE PLACEMENT OF SUCH MEASURES.
- REPLACE TOPSOIL, FINE GRADE AND SEED AS REQUIRED.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWNVECH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.
- RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 80% COVERAGE IS ACHIEVED.
- ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

SPECIFICATIONS FOR TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION				
ANNUAL PLANT SPECIES	PURE LIVE SEEDING RATE (LB./AC.)	SEEDING DATES	SEED DEPTH	
ANNUAL RYE GRASS (LOLIUM MULTIFLORUM)	100	MARCH 1 TO MAY 1 AUGUST 1 TO OCTOBER 1	1"	±
SPRING OATS (AVENA SATIVA)	128	MARCH 1 TO AUGUST 1	1"	
WINTER CEREAL RYE (SECALE CEREALE)	100	MARCH 1 TO NOVEMBER 1	1"	
OATS (AVENA SATIVA)	60	JUNE 1 TO AUGUST 1	1"	±
SORGHUM SUNDANGRASS (SORGHUM X DRUMMONDII)	44			
PEARL MILLET (PENNISETUM GLAUUM)	20	JUNE 1 TO AUGUST 1	1"	±
WINTER WHEAT (TRITICUM AESTIVUM)	100	OCTOBER 1 TO NOVEMBER 1	1"	
MULCH ONLY		NOVEMBER 1 TO MARCH 1		

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDBED SHALL BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS-APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD-SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING/TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS: STRAW-IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY. TO THE SOIL. SURFACE FERTILIZER, FOR UNIFORM DISTRIBUTION OR HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS-IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT. OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS/AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICAL-A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN AN MULCH NETTINGS-NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS-SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (ACR-TAC), DCA-76, PETROSET, TERRA-TACK OR EQUIVALENT MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBER-BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./1,000 GAL.

BMP INSPECTION CHECKLIST

BMP	FREQUENCY	NOTES
GENERAL INSPECTION	EVERY 6 MO.	
STORM WATER BASIN VEGETATION	MONTHLY	FIRST 2 GROWING SEASONS THEN TWICE A YEAR
SILT FENCE	MONTHLY	FIRST GROWING SEASON

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24 HOUR PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATED OF INSPECTION AND CORRECTIVE MEASURES TAKEN. RECORDS SHALL I. BE SUBMITTED TO THE SUMMIT COUNTY ENGINEERING DEPARTMENT FOR REVIEW BY MAY 1st OF EACH YEAR.

ALL CONTROL PRACTICES THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN THREE (3) DAYS OF THE INSPECTION.

INSPECTION WILL BE CARRIED OUT BY QUALIFIED PERSONNEL.

INSPECTION RECORDS WILL BE KEPT FOR UP TO 3 YEARS AFTER COMPLETION. PONDS WILL BE REPAIRED WITHIN 10 DAYS OF INSPECTION.

AREAS TO INSPECT INCLUDE (DISTURBED AREAS, CONSTRUCTION AREAS, STORAGE AREAS, ETC.)

ADDITIONAL SWP3 CONSIDERATIONS

NO OPEN BURNING

DUST CONTROL SHALL BE ACHIEVED BY USE OF WATERING TRUCKS. USE OF OIL IS STRICTLY PROHIBITED. INLET PROTECTION MUST BE IMPLEMENTED PRIOR TO DUST CONTROL MEASURES.

IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF OIL SHEEN, THE CONTRACTOR SHALL CONTACT THE OHIO E.P.A. AT 800-282-9378, THE LOCAL FIRE DEPARTMENT.

SMALL SPILLS (<25 GALLONS) SHALL BE CLEANED UP USING AN ABSORBING AGENT, THE ABSORBING AGENT REMOVED AND DISPOSED OF ACCORDING TO FEDERAL REGULATIONS.

ALL TRENCH DEWATERING MEASURES SHALL BE DISCHARGED INTO SETTLING BASINS PRIOR TO DISCHARGE FROM SITE. BMPs THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF INSPECTION.

STREETS ADJACENT TO SITE SHALL BE CLEANED AT THE END OF EACH WORK DAY.

POST-CONSTRUCTION BMP RATIONALE

STORM WATER MANAGEMENT AND POST CONSTRUCTION WATER QUALITY BMP'S HAVE BEEN ADDRESSED BY MEANS OF AN ON-SITE STORM WATER MANAGEMENT/WATER QUALITY BASIN.

MAINTENANCE FOR PERMANENT SEEDINGS FERTILIZATION AND MOWING					
MIXTURE	FORMULA	LBS./ACRE	LBS./1,000 SQ. FT	TIME	MOWING
CREEPING RE FESCUE RYEGRASS KEENTCKY BLUEGRASS	10-10-10	500	12	FALL, YEARLY AS NEEDED	NOT CLOSER THAN 3"
TALL FESCUE	10-10-10	500	12		NOT CLOSER THAN 4"
TURF-TYPE FESCUE CROWN VETCH FESCUE	10-10-10 0-20-20	500 400	10 12	SPRING, YEARLY FOLLOWING ESTABLISHMENT AND EVERY 4-7 YEARS THEREAFTER	DO NOT MOW
FLAT PEA FESCUE	0-20-20	400	10		DO NOT MOW

NOTE: FOLLOWING SOIL TEST RECOMMENDATIONS IS PREFERRED TO FERTILIZER RATES SHOWN ABOVE.

SPECIFICATIONS FOR PERMANENT SEEDING

SITE PREPARATION

- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO RELIEVE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLP PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHERE IT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION. SEEDBED PREPARATION a. LIME-ACRYLIC LUTRAL GRIND LIMESTONE SHALL BE APPLIED TO ACID SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/ACRE. b. FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 LB./1,000 SQ. FT. OR 100 LBS./ACRE OF 10-10-10 OR 12-12-12 ANALYSIS. c. THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES ON SLOPING LAND. THE SOIL SHALL BE WORKED ON THE CONTOUR.

MULCHING

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE MULCHED 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS STRAW-IF STRAW IS USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/ACRE OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY. THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. HAND-SPREAD MULCH SECTIONS AND SPREAD TWO 45-LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./ACRE OR 46 LB./1,000 SQ. FT. OTHER-OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/ACRE.
- STRAW AND MULCH ANCHORING METHODS STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. MECHANICAL-A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT GENERALLY BE LEFT LONGER THAN 6 IN.

EROSION PREVENTION PRACTICES

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUG 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDING

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20 DURING THIS PERIOD. THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING": FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE SEEDING MIXTURE OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, BROADCAST THE SELECTED SEED MIXTURE AT A 50% INCREASE IN THE SEEDING RATE. FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SEEDING MIXTURE, THEN MULCH, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 30% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOST SEEDBED.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD FOLLOW THE CONTOUR WHERE FEASIBLE.

EROSION PREVENTION PRACTICES

WOOD CELLULOSE FIBER-WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 LBS. CELLULOSE/100 GALLONS OF WATER.

IRRIGATION

- PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.
- IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDBED AREAS FROM EXCESSIVE RUNOFF.

Mix Use	Plant Species	Pure Live Seeding Rate (lb/ac) ¹	Percent of Mix
1. Multipurpose Lawn	Turf Type Fescue (<i>Festuca arundinacea</i>)	40	47
	Kentucky Bluegrass (<i>Poa pratensis</i>)	20	23
	Perennial Ryegrass (<i>Lolium perenne</i>)	25	30
2. Quick Cover	Kentucky Bluegrass (<i>Poa pratensis</i>)	15	41
	Creeping Red Fescue (<i>Festuca rubra</i>)	16.5	27
	Annual Ryegrass (<i>Lolium multiflorum</i>)	1.5	2
	Perennial Ryegrass (<i>Lolium perenne</i>)	19	30
	Kentucky Bluegrass (<i>Poa pratensis</i>)	52 lb/ac total PLS rate	
3. Secondary Wildlife Benefits Cover	Orchardgrass (<i>Dactylis glomerata</i>)	11	18
	Annual Ryegrass (<i>Lolium multiflorum</i>)	22.5	37
	Perennial Ryegrass (<i>Lolium perenne</i>)	1.5	10
	Red Clover (<i>Trifolium pratense</i>)	19	31
	Red Clover (<i>Trifolium pratense</i>)	2	4
4. Steep Slopes		56 lb/ac total PLS rate	
	Hard Fescue (<i>Festuca longifolia</i>)	55	55
	Creeping Red Fescue (<i>Festuca rubra</i>)	25	25
	Annual Ryegrass (<i>Lolium multiflorum</i>)	10	10
		100 lb/ac total PLS rate	
	New England Aster (<i>Symphyotrichum novae-angliae</i>), Partridge Pea (<i>Chamaecrista fasciculata</i>), Purple Coneflower (<i>Echinacea purpurea</i>), Rattlesnake Master (<i>Eryngium yuccifolium</i>), Ox-Eye Sunflower (<i>Helopsis scutellarioides</i>), Bergamot (<i>Monarda fistulosa</i>), Grey-Headed Coneflower (<i>Ratibida pinnata</i>), Orange Coneflower (<i>Heutadia fulgida</i>), Prairie Dock (<i>Silphium terribilitaceum</i>), Whorled Roseweed (<i>Silphium trifolium</i>), Self Goldenrod (<i>Solidago rigida</i>) (a mixture of 5 to 12 species with any one not to exceed 5% of the mix)	15	25
	Big Blue Stem (<i>Andropogon gerardii</i>)	2	3
	Little Blue Stem (<i>Schizachyrium scoparium</i>)	3	5
	Indian Grass (<i>Sorghastrum nutans</i>)	1	2
	Annual Ryegrass (<i>Lolium multiflorum</i>)	40	40
		61 lb/ac total PLS rate	



BUILDING ADDITION
AUTOBAHN SERVICE CENTER, INC.
1330 S. CLEVELAND-MASSILLON ROAD
COPLEY, OHIO 44321
SITE PLAN

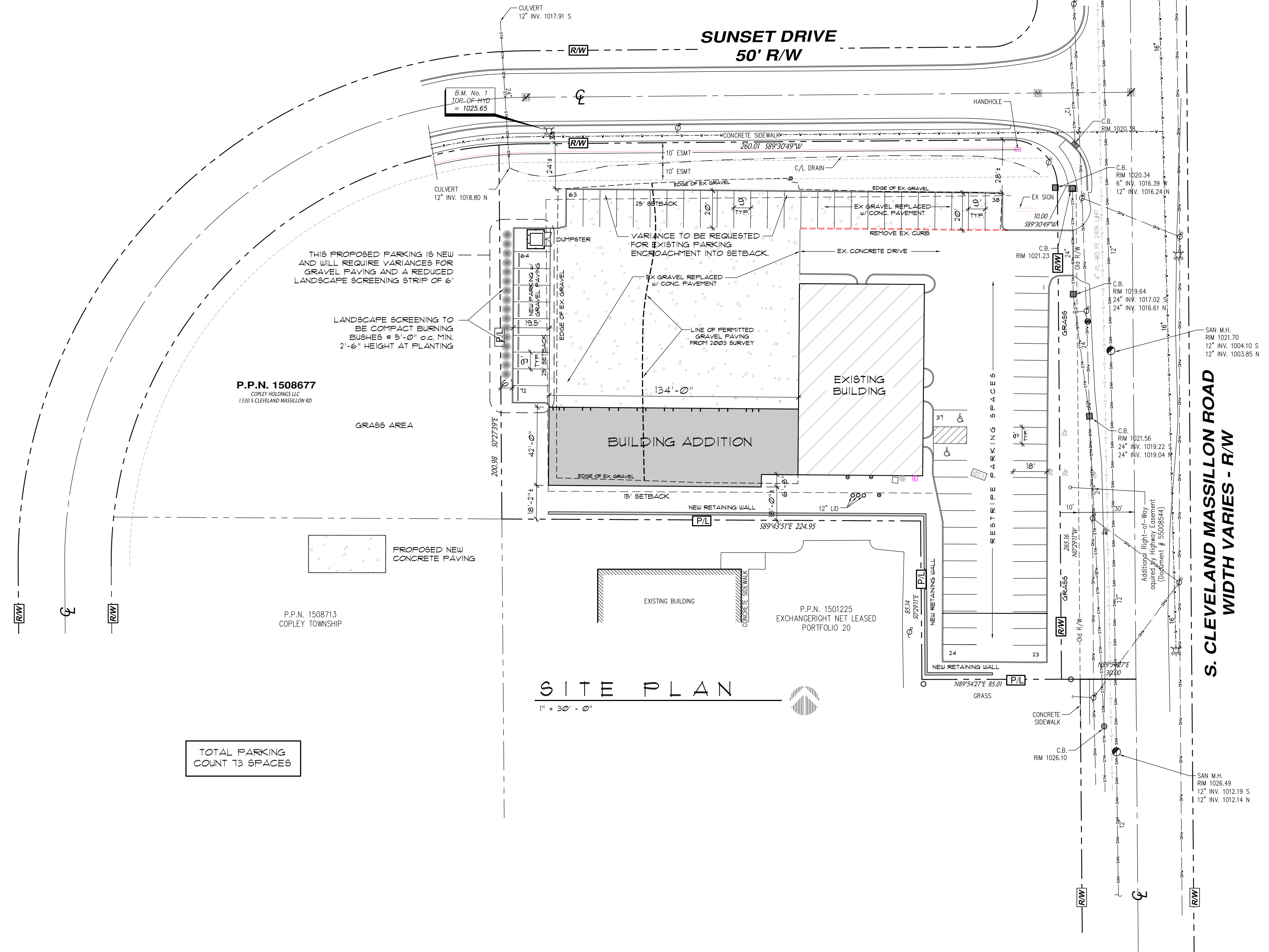
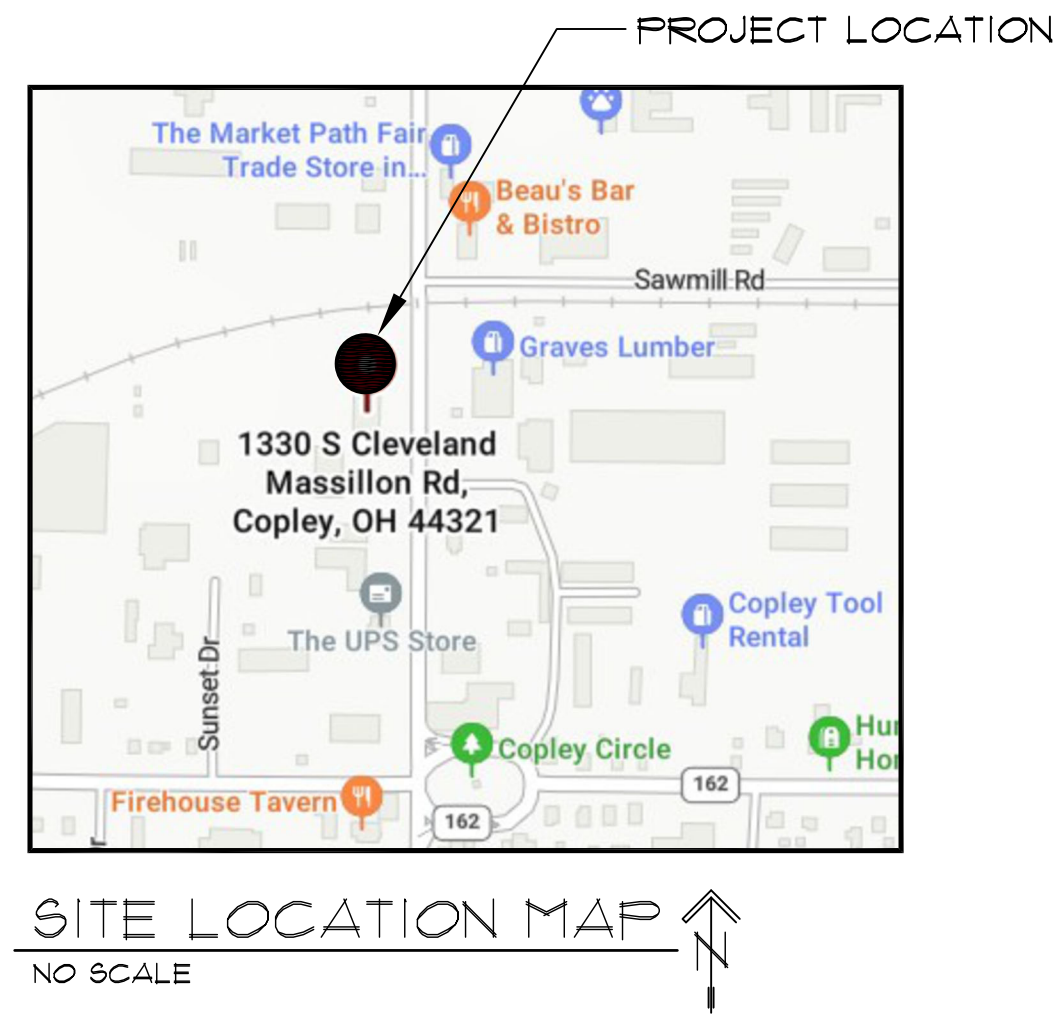
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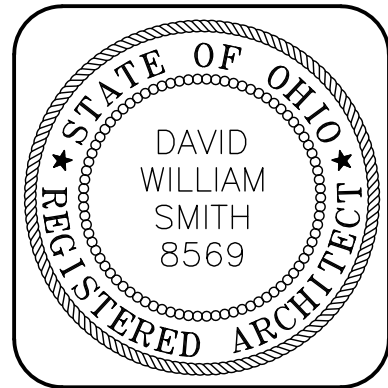
David W. Smith, Architect, L. L. C.
1390 Partridge Lane
Akron, Ohio 44333 330.603.1207
dsarch@roadrunner.com

$$\triangle = 1$$

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S I T E D A T A
ZONING CLASSIFICATION: 11
SITE AREA: 134 ACRES
EX. BUILDING FOOTPRINT: 6,290 SF.
PROPOSED BUILDING ADDITION: 5,499 SF.
PROPOSED TOTAL NEW BUILDING FOOTPRINT: 12,389 SF.
EX. PARKING: 81 SPACES
PROPOSED PARKING: 12 SPACES



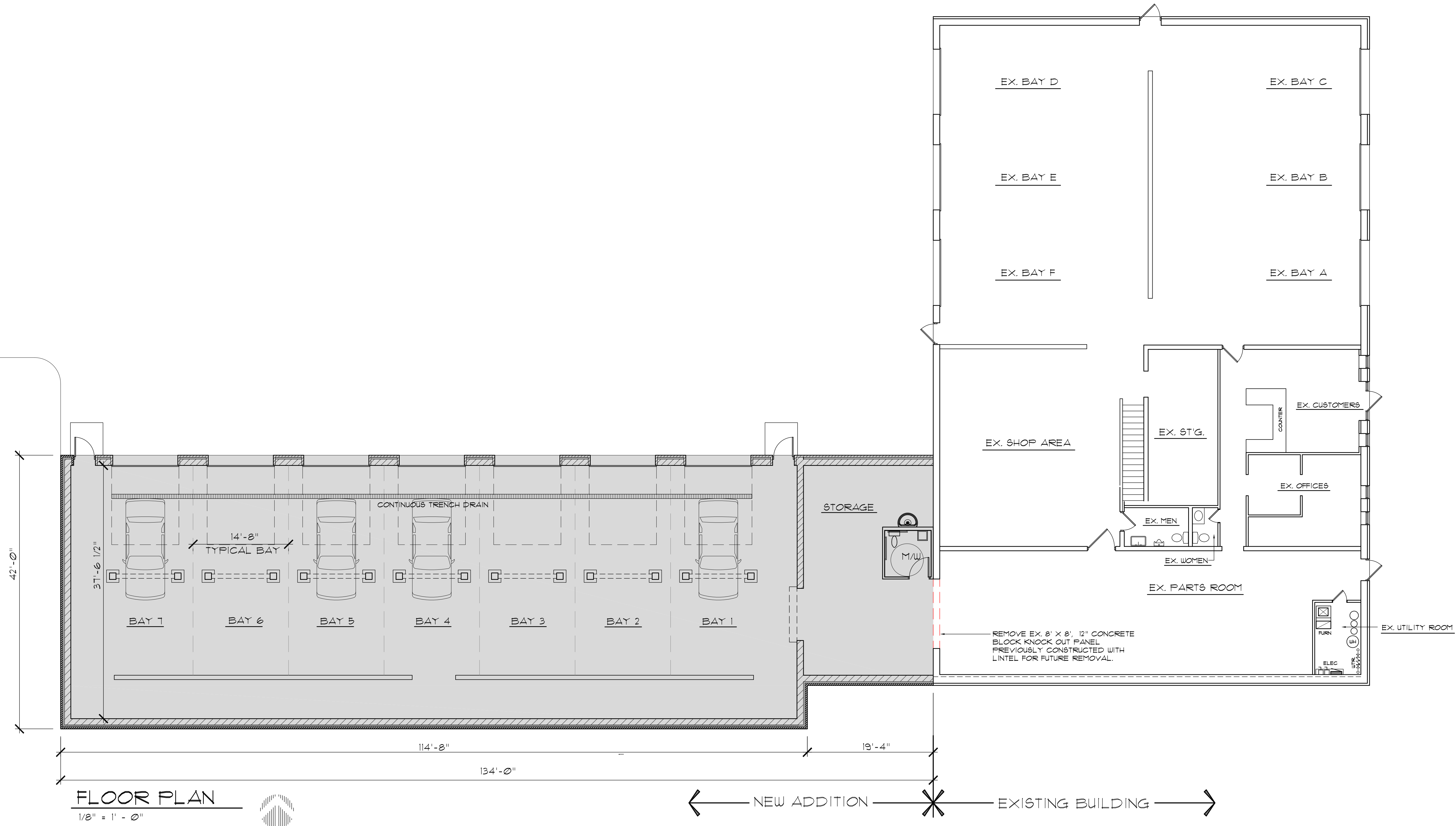


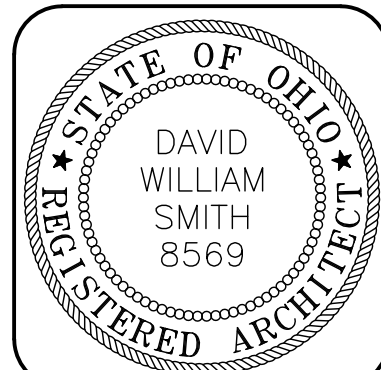
DAVID WILLIAM SMITH
LICENSE NO. 8569
EXPIRATION 12/31/25

BUILDING ADDITION
AUTOBAHN SERVICE CENTER, INC.
1330 S. CLEVELAND-MASSILLON ROAD
COPLEY, OHIO 44321
FLOOR PLAN

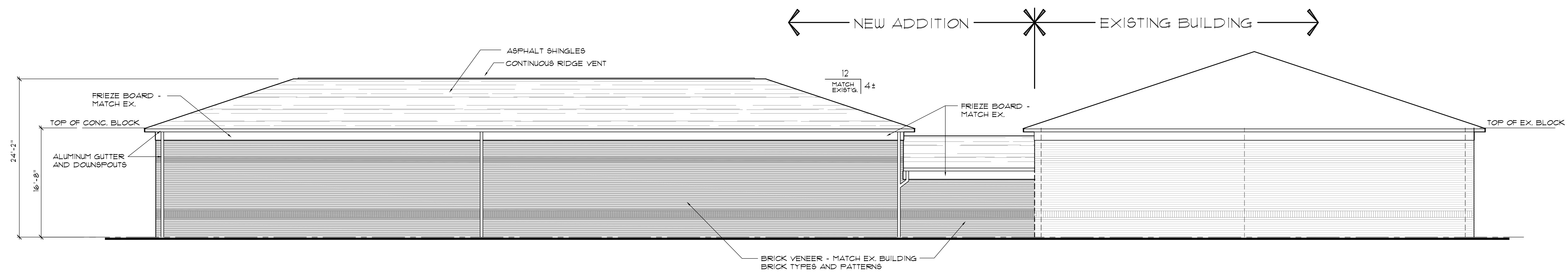
A R C H I T E C T
David W. Smith, Architect, L.L.C.
1390 Partridge Lane
Akron, Ohio 44333 330.603.1207
dsarch@roadrunner.com

12-4-25
A = 2



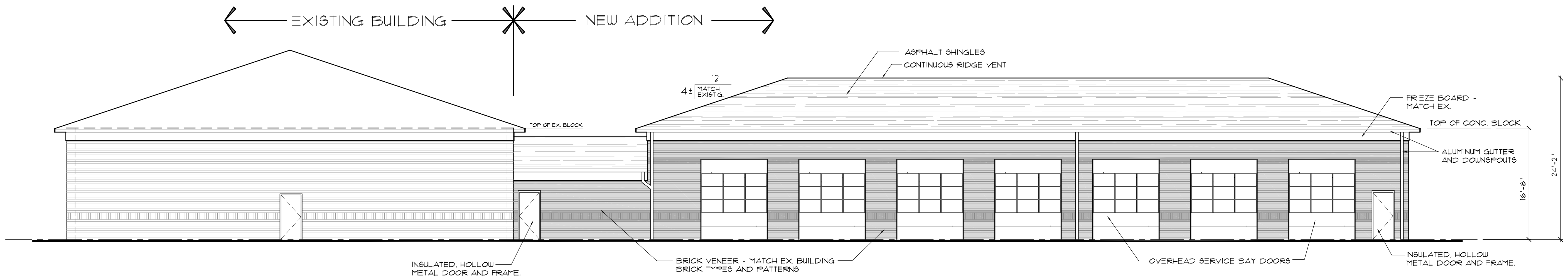


DAVID WILLIAM SMITH
LICENSE NO. 8569
EXPIRATION 12/31/25



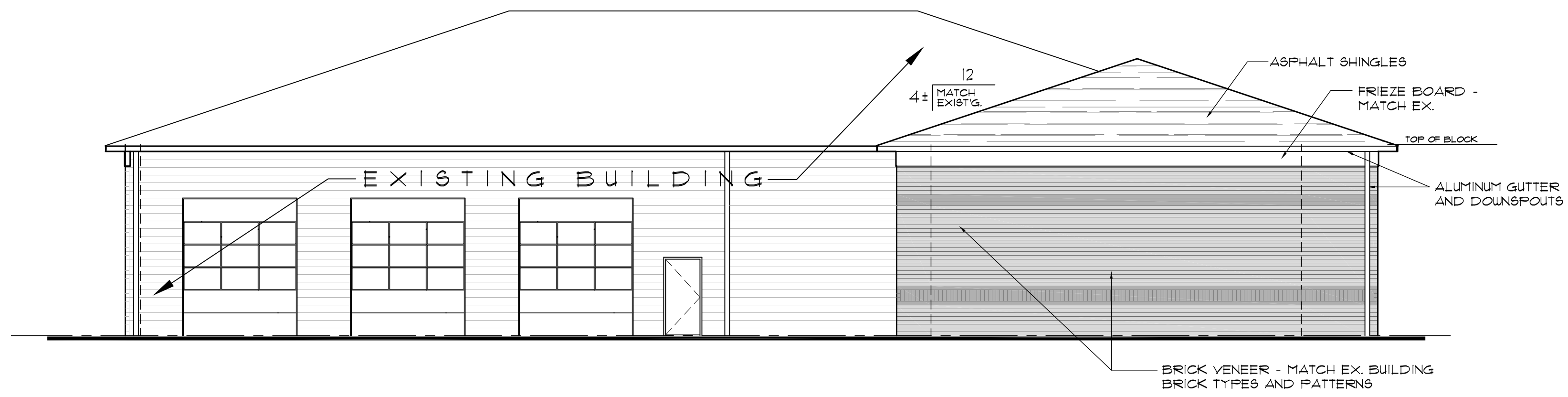
SOUTH ELEVATION

1/8" = 1' - 0"



NORTH ELEVATION

1/8" = 1' - 0"



WEST ELEVATION

1/8" = 1' - 0"

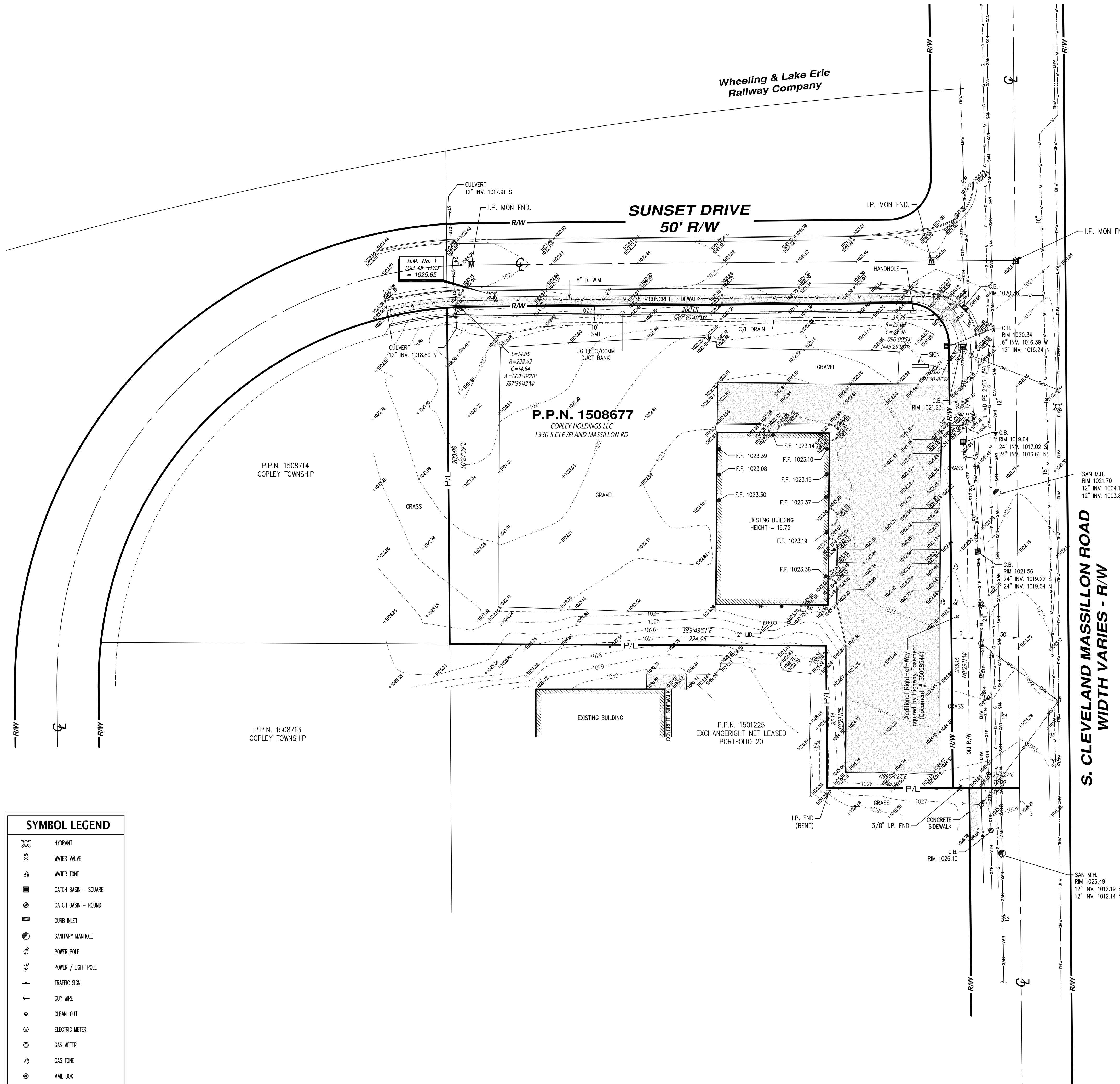
BUILDING ADDITION
AUTOBAHN SERVICE CENTER, INC.
1330 S. CLEVELAND-MASSILLON ROAD
COPLEY, OHIO 44321

ELEVATIONS

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12-4-25

A-3



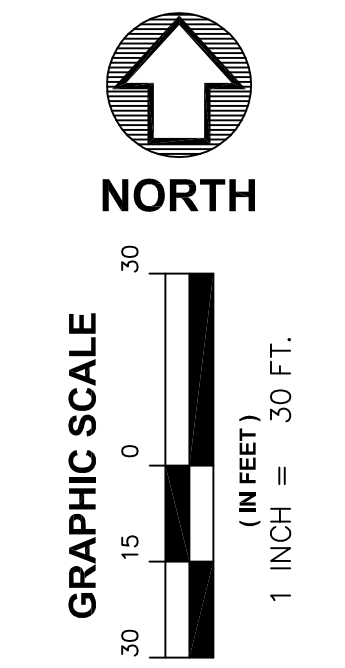
SYMBOL LEGEND	
	HYDRANT
	WATER VALVE
	WATER TONE
	CATCH BASIN - SQUARE
	CATCH BASIN - ROUND
	CURB INLET
	SANITARY MANHOLE
	POWER POLE
	POWER / LIGHT POLE
	TRAFFIC SIGN
	GUY WIRE
	CLEAN-OUT
	ELECTRIC METER
	GAS METER
	GAS TONE
	MAIL BOX

OHIO
Utilities Protection
SERVICE
Call Before You Dig
(800) 362-2764

NOTES:
- - - - - EXISTING ELEVATION
- - - - - EX. CONTOUR

BENCH MARKS:
BENCH MARK No. 1: TOP OF HYDRANT
SOUTH SIDE OF SUNSET DRIVE
NORTH OF SUBJECT PROPERTY
ELEVATION = 1025.65 (NAVD88)

REVISIONS:



Prepared by:
RIMKOLE
& ASSOC. CORP.
Surveyors consultants & engineers utilities corp
5316 Ridge Road - Cleveland, Ohio 44129
Phone 440.885.7137 - Fax 440.885.7139
www.kolesurvey.com

TOPOGRAPHIC SURVEY
P.P.N. 1508677
1330 SOUTH CLEVELAND MASSILLON ROAD
SITUATED IN THE CITY OF AKRON, COUNTY OF SUMMIT AND STATE OF OHIO

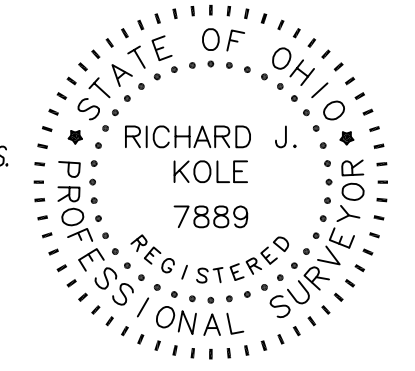
UNDERGROUND UTILITIES NOTE:
The size and location, both horizontal and vertical, of underground utilities shown hereon, have been obtained by a search of available records. Verification by field observation has been conducted where practical. However, Kole and Assoc. Corp., does not guarantee the completeness nor accuracy thereof.

SURVEYOR'S CERTIFICATION:
I, Richard J. Kole, do hereby certify that this survey was made on the ground under my supervision on August 22, 2025 and that it is true and correct to the best on my knowledge and belief.

Richard J. Kole, Reg. Surveyor #7889
Date August 22, 2025

BASIS OF BEARINGS:
State Plane Grid North, NAD 83 (2011),
Ohio North Zone. Tied by GNSS to O.D.O.T. VRS.

VERTICAL DATUM:
Navd 88, derived from GNSS observations
through the O.D.O.T. VRS.



DATE:
AUG 21, 2025
SCALE:
1" = 30'
DRAWN BY:
R.D.S.
FILE NO.
25178 TOPO
SHEET 1 OF 1

2/6/2024 #35847
KRISTEN M. SCALISE CPA, CFE
Summit County Fiscal Officer

\$ 400 Fee \$ skump Consideration

☒ Transferred

☐ Transfer Not Necessary

by Massey, Deputy Fiscal Officer
In compliance with ORC 219.202

VL

CP/331

Descriptions Approved by Tax Maps
Approval Good for 30 Days From: 02/02/2024

LIMITED WARRANTY DEED
(R.C. 5302.07)

COPLEY HOLDINGS, LLC an Ohio Limited Liability Company, ("Grantor"), claiming title through Instrument No. _____ of the Land Records of Summit County, Ohio grant(s) to **COPLEY HOLDINGS, LLC, an Ohio Limited Liability Company** ("Grantee"), whose tax mailing address is 1330 S. Cleveland-Massillon Road, Copley, OH 44321, does

GIVE, GRANT, BARGAIN, SELL AND CONVEY unto the said Grantee, its successors and assigns, all of Grantor's undivided interest in the following described premises:

See Exhibit A attached hereto

Parcel No. 1508677

Routing No. CP00331C4001000

For Informational Purposes Only: Containing 1.6046 acres of land.

Subject to: Easements, restrictions, reservations and agreements of record, zoning ordinances, and current taxes and special assessments.

TO HAVE AND TO HOLD the above premises, with the appurtenances thereunto belonging, unto the said Grantee, their successors and assigns forever.

AND THE SAID GRANTOR covenants with the Grantee, its successors and assigns, that the granted premises are free from all encumbrances made by the Grantor, and that it does warrant and will defend the same to the Grantee and its successors and assigns, forever, against the lawful claims and demands of all persons claiming by, through, or under the Grantor, but against none other. It is understood and agreed by the parties hereto that the title to the real estate herein conveyed is warranted only insofar as it might be affected by any act of Grantor during its ownership thereof and not otherwise.

DOC # 56861518



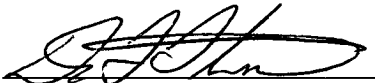
SIGNED this 31st day of January 2024.

COPLEY HOLDINGS, LLC


LOUIE PEJNOVIC, MANAGER

STATE OF OHIO)
) SS
SUMMIT COUNTY)

The foregoing instrument was acknowledged before me this 31st day of January 2024 by LOUIE PEJNOVIC, Manager of Copley Holdings, LLC, an Ohio limited liability company.

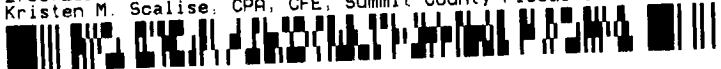

Notary Public

DAVID L. FIRESTINE, Attorney-At-Law
Notary Public - State of Ohio
My Commission has no expiration date
Sec. 147.03 R.C.

This instrument prepared by:
WITSCHHEY WITSCHHEY & FIRESTINE CO., LPA
David L. Firestine, Esq.
405 Rothrock Road, Suite 103
Akron, Ohio 44321 (330) 665-5117
cli.copleytownship.deeds.autobahn-2

M Copley Township
1540 S Cleveland Massillon Rd
Copley OH 44321

DOC # 56861518



LEGAL DESCRIPTION
1.6046 acres

Situated in the Township of Copley, County of Summit, State of Ohio, Township 2 North, Range 21 West, part of Original Lot 23, and being a part of a parcel conveyed to Copley Holdings LLC (Document Number 56422148) and being more fully described as follows:

COMMENCING at a PK Nail set at the intersection of Copley Road (S.R. 162) and S. Cleveland Massillon Road (C.R. 17) (width varies);

Thence **North 00°29'11" West**, with the centerline of S. Cleveland Massillon Road, a distance of **877.87 feet**;

Thence **South 89°54'27" West**, a distance of **30.00 feet** to a northeasterly corner of a parcel conveyed to ExchangeRight Net Leased Portfolio 20 (Document Number 56365657) and the **TRUE PLACE OF BEGINNING**;

Thence **South 89°54'27" West**, with a northerly line of said ExchangeRight Net Leased Portfolio 20 parcel, a distance of **85.01 feet** to a northeasterly corner thereof and a 3/4" iron pin found, passing a 1/2" iron pin found with a cap marked "CHERMAK" at 5.00';

Thence **North 00°29'11" West**, with an easterly line of said ExchangeRight Net Leased Portfolio 20 parcel, a distance of **85.14 feet** to a northeasterly corner thereof, and a pin set;

Thence **North 89°43'51" West**, with a northerly line of said ExchangeRight Net Leased Portfolio 20, a distance of **224.95 feet** to the northwesterly corner thereof, the easterly line of a parcel conveyed to Copley Township Board of Trustees (Document Number 55646714) referenced by a 1" iron pin found North 89°43'15" West, 0.15 feet;

Thence **North 00°27'39" West**, with said easterly line of said Copley Township Board of Trustees parcel, a distance of **200.98 feet** to a pin set;

Thence through the lands of said Copley Holdings LLC parcel the following three (3) courses:

Easterly, with a non tangent curve to the right, a distance of 14.85 feet with a chord bearing North 87°37'24" East, 14.84 feet, a radius of 225.00 feet, and having a central angle of 03°46'50" to a pin set;

North 89°30'49" East, a distance of **260.01 feet** to a point of curvature and a pin set;

Southeasterly, with a curve to the right, a distance of 39.27 feet with a chord bearing South 45°29'11" East, 35.36 feet, a radius of 25.00 feet and a central angle of 90°00'00" to the westerly right-of-way line of S. Cleveland Massillon Road, and a pin set;

Thence **North 89°30'49" East**, a distance of **10.00 feet** to a pin set;

Thence **South 00°29'11" East**, a distance of **265.16 feet** to the **TRUE PLACE OF BEGINNING** and containing **1.6046 acres**, more or less (1.5437 acres outside right-of-way & 0.0609 acres inside right-of-way) as surveyed by Steven W. Clutter, PS 7655, for and on behalf of CESO, Inc. in July 2023.

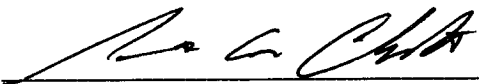
All deed references are from the Summit County Recorder's records.

The basis of bearings for this description is Ohio State Plane North Zone (NAD 83, 2011) derived from GPS Observations.

All pins set are 5/8" x 30" rebar with yellow cap marked CESO, Inc.



CESO, Inc.

 12/20/23
Steven W. Clutter, PS
Registered Surveyor No. 7655

DOC # 56861518



PN: 1508677
Qty: CP00331C4001000



BUILDING ADDITION

AUTOBAHN SERVICE CENTER, INC.
1330 S. CLEVELAND-MASSILLON ROAD
COPLEY, OHIO 44321

SITE PLAN

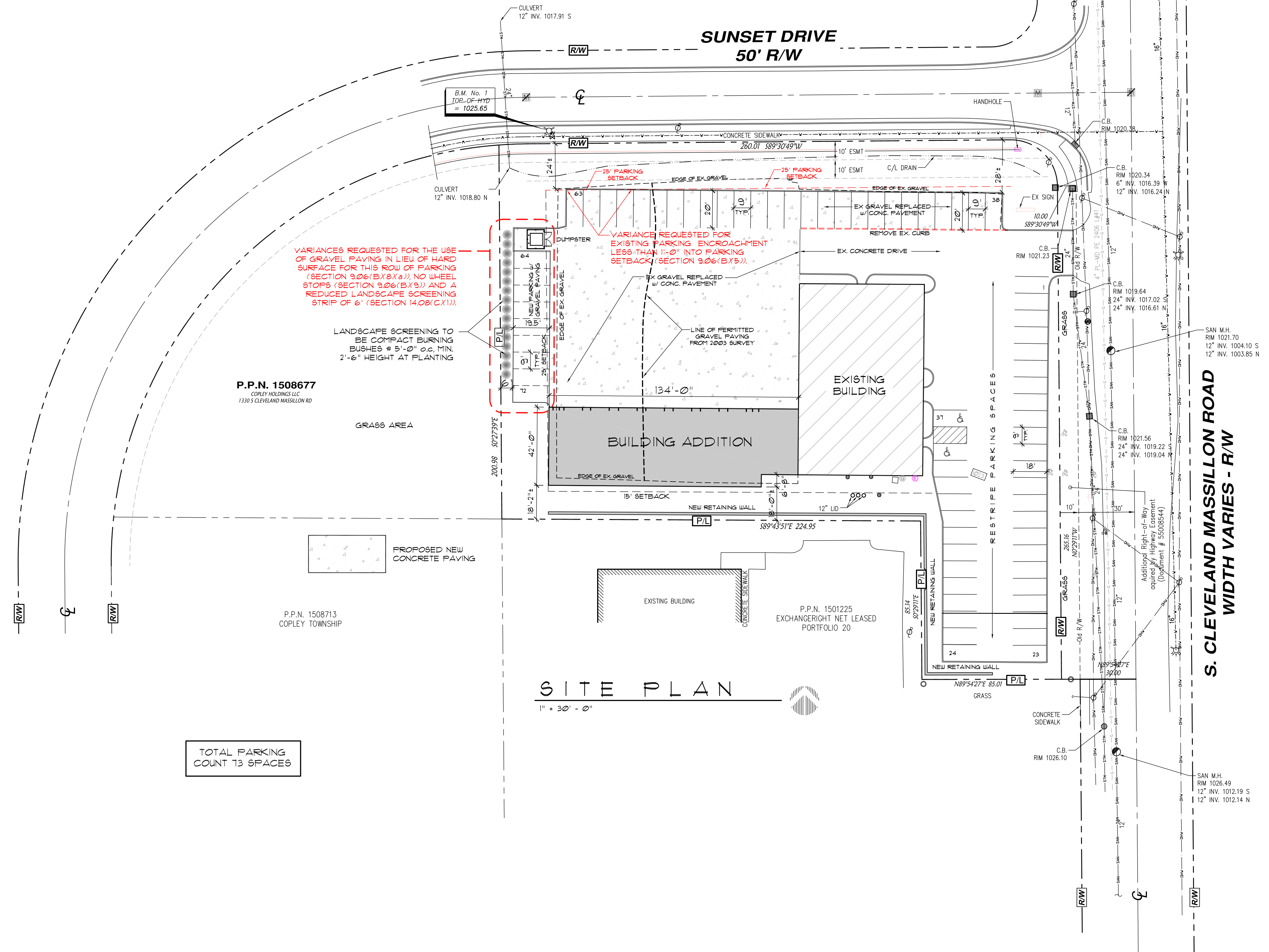
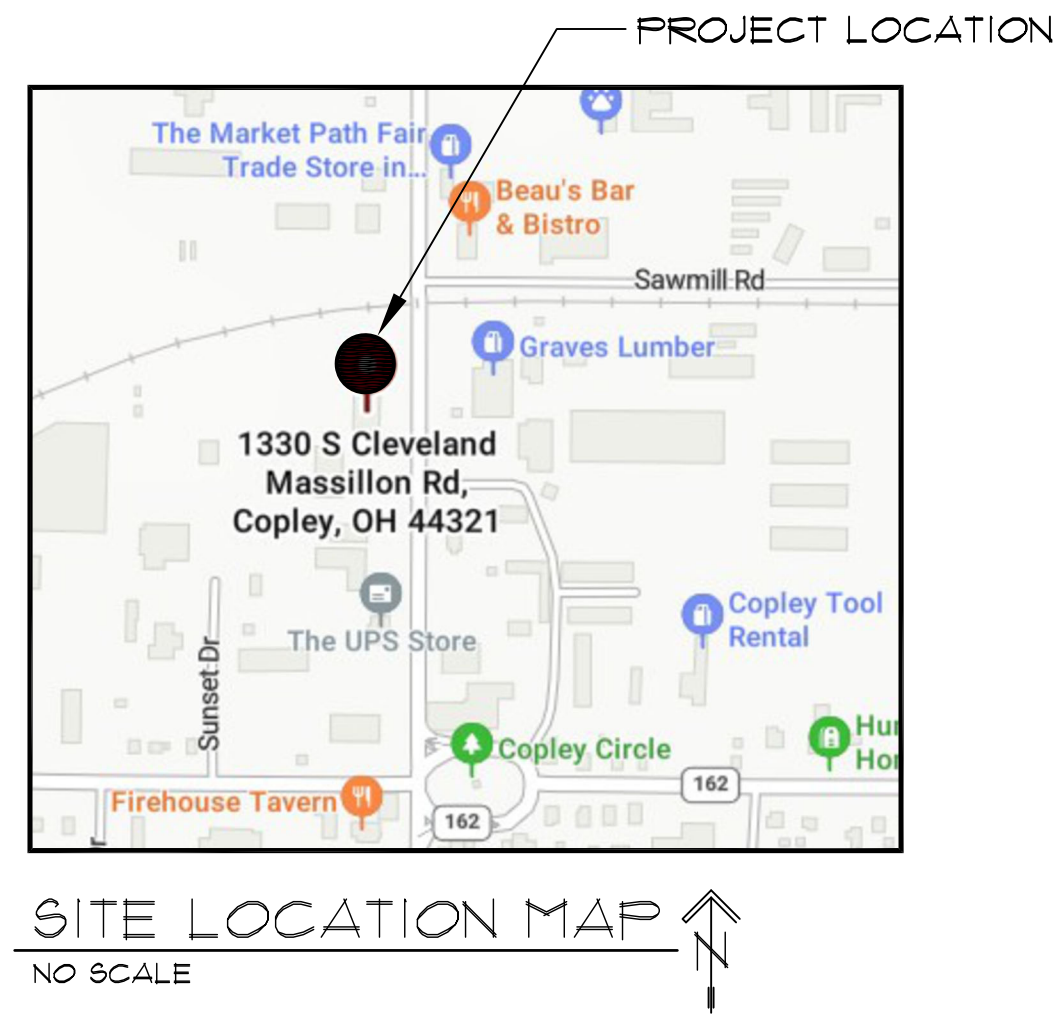
A RCHITECT
David W. Smith, Architect, L. L. C.
1390 Partridge Lane
Akron, Ohio 44333 330.603.1207
dsarch@roadrunner.com

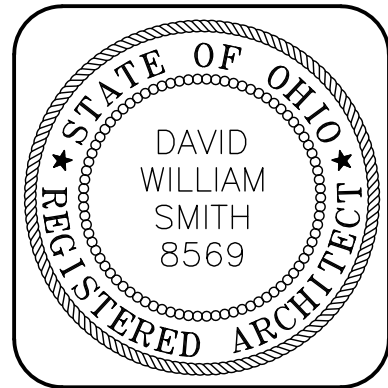
-12-25

$$\triangle = 1$$

25

S I T E D A T A
ZONING CLASSIFICATION: 11
SITE AREA: 134 ACRES
EX. BUILDING FOOTPRINT: 6,290 SF.
PROPOSED BUILDING ADDITION: 5,499 SF.
PROPOSED TOTAL NEW BUILDING FOOTPRINT: 12,389 SF.
EX. PARKING: 81 SPACES
PROPOSED PARKING: 12 SPACES





DAVID WILLIAM SMITH
LICENSE NO. 8569
EXPIRATION 12/31/25

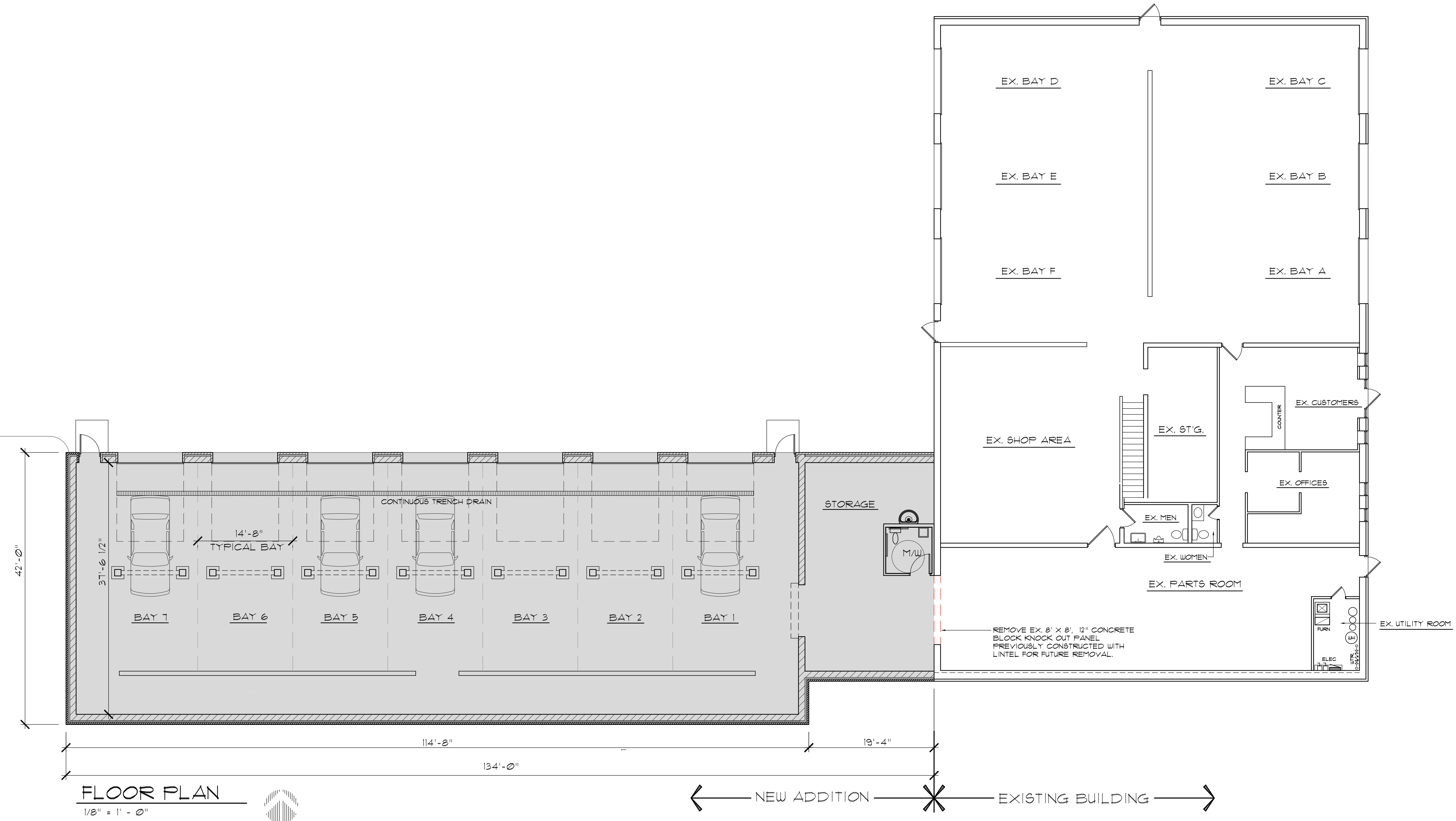
BUILDING ADDITION
AUTOBAHN SERVICE CENTER, INC.
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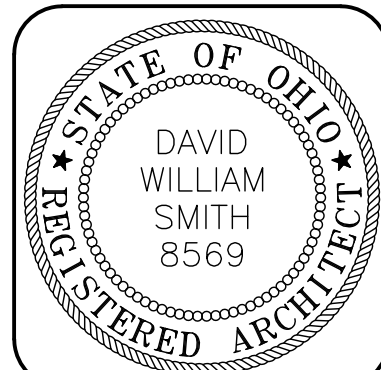
FLOOR PLAN

A R C H I T E C T
David W. Smith, Architect, L.L.C.
1390 Partridge Lane
Akron, Ohio 44333 • 330.603.1207
dsarch@roadrunner.com

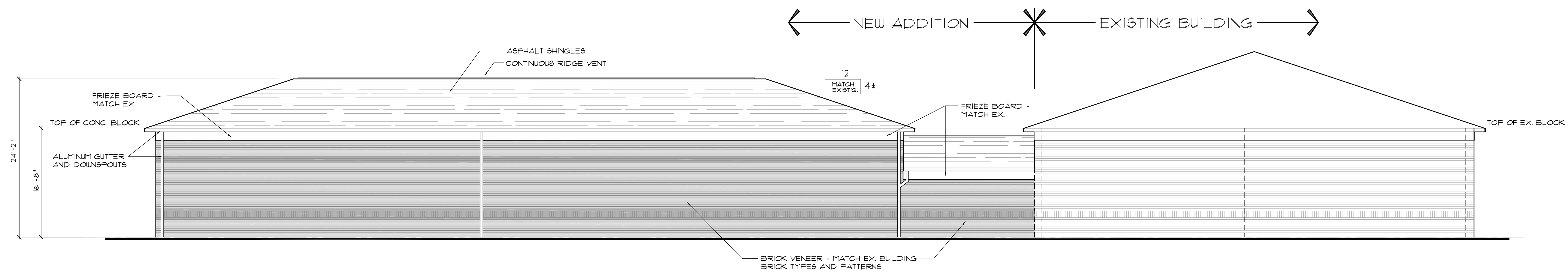
12-4-25

A = 2



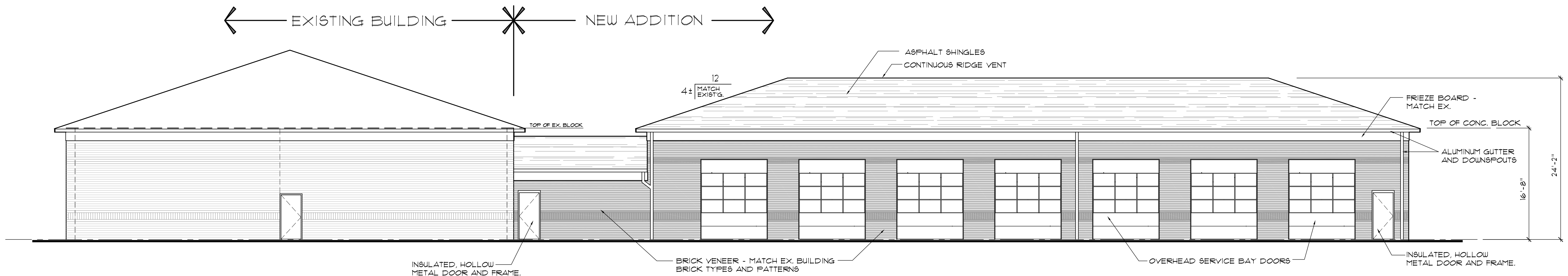


DAVID WILLIAM SMITH
LICENSE NO. 8569
EXPIRATION 12/31/25



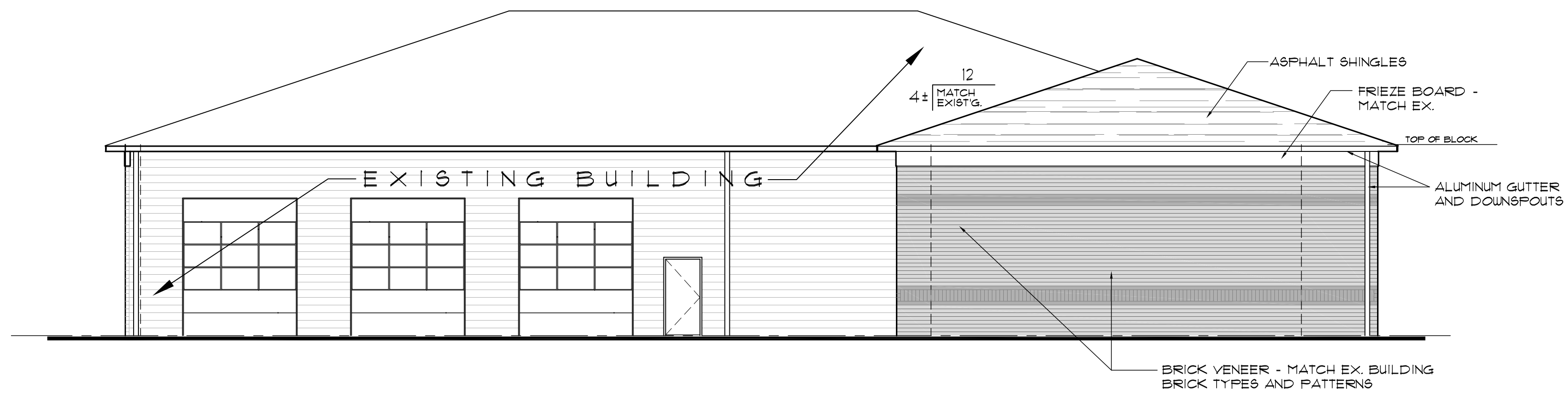
SOUTH ELEVATION

1/8" = 1' - 0"



NORTH ELEVATION

1/8" = 1' - 0"



WEST ELEVATION

1/8" = 1' - 0"

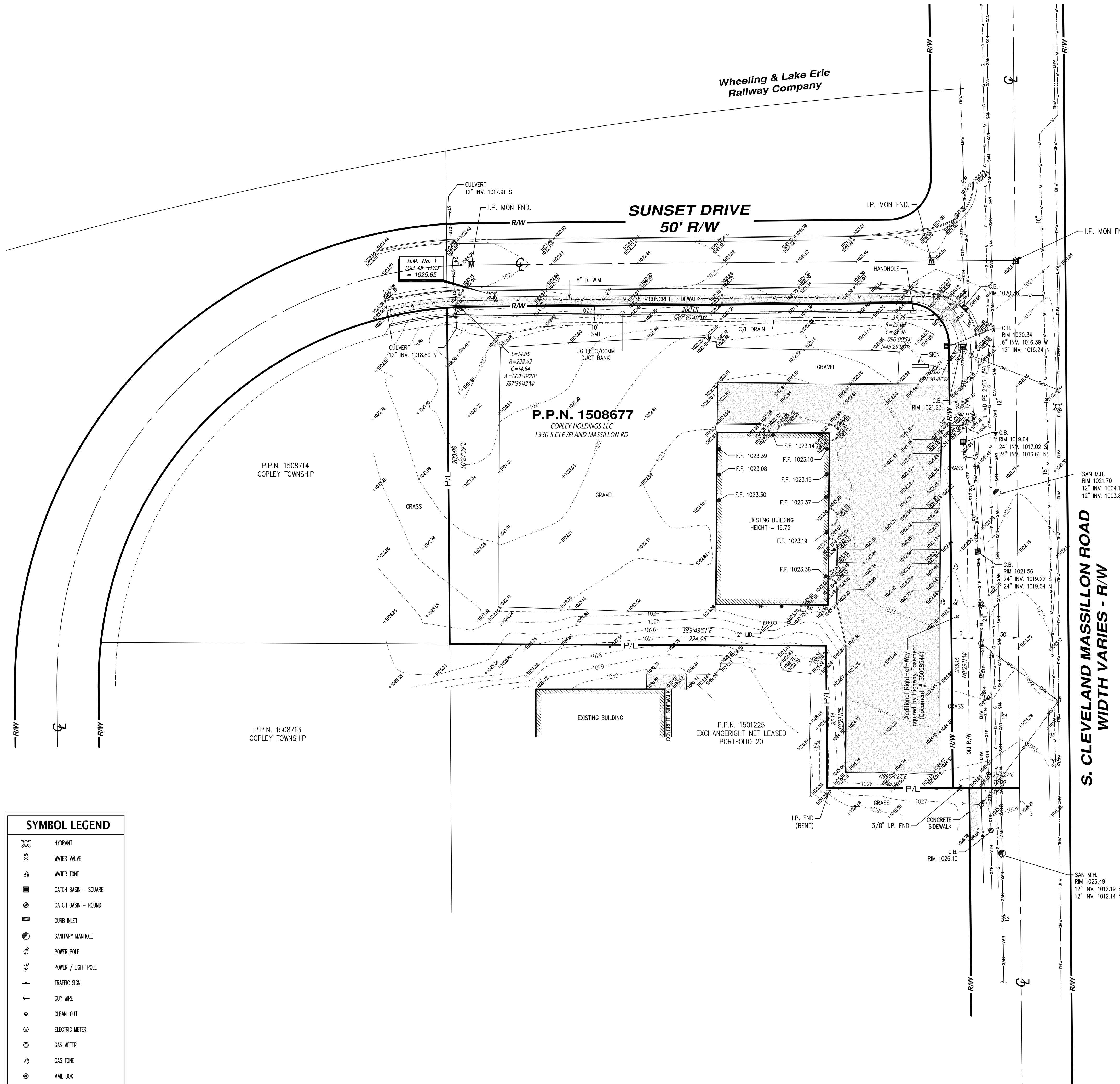
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1330 S. CLEVELAND-MASSILLON ROAD
COPLEY, OHIO 44321

ELEVATIONS

A R C H I T E C T
David W. Smith, Architect, L.L.C.
1390 Partridge Lane
Akron, Ohio 44333 330.603.1207
dsarch@roadrunner.com

12-4-25

A-3



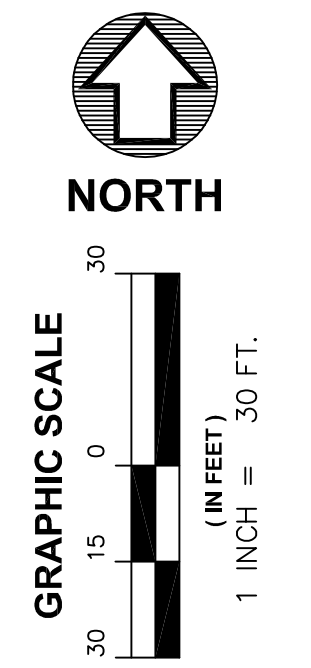
SYMBOL LEGEND	
	HYDRANT
	WATER VALVE
	WATER TONE
	CATCH BASIN - SQUARE
	CATCH BASIN - ROUND
	CURB INLET
	SANITARY MANHOLE
	POWER POLE
	POWER / LIGHT POLE
	TRAFFIC SIGN
	GUY WIRE
	CLEAN-OUT
	ELECTRIC METER
	GAS METER
	GAS TONE
	MAIL BOX

OHIO
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SERVICE
Call Before You Dig
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NOTES:
- - - - - EXISTING ELEVATION
- - - - - EX. CONTOUR

BENCH MARKS:
BENCH MARK No. 1: TOP OF HYDRANT
SOUTH SIDE OF SUNSET DRIVE
NORTH OF SUBJECT PROPERTY
ELEVATION = 1025.65 (NAVD88)

REVISIONS:



Prepared by:
RIMKOLE
& ASSOC. CORP.
Surveyors consultants engineers utilities corp
5316 Ridge Road - Cleveland, Ohio 44129
Phone 440.885.7137 - Fax 440.885.7139
www.kolesurvey.com

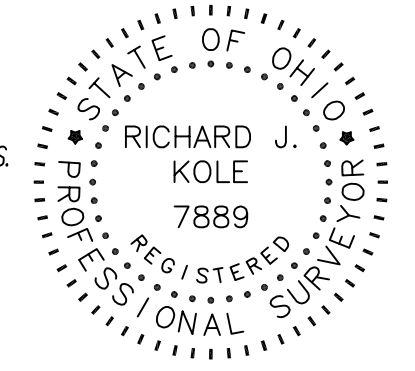
TOPOGRAPHIC SURVEY
P.P.N. 1508677
1330 SOUTH CLEVELAND MASSILLON ROAD
SITUATED IN THE CITY OF AKRON, COUNTY OF SUMMIT AND STATE OF OHIO

UNDERGROUND UTILITIES NOTE:
The size and location, both horizontal and vertical, of underground utilities shown hereon, have been obtained by a search of available records. Verification by field observation has been conducted where practical. However, Kole and Assoc. Corp., does not guarantee the completeness nor accuracy thereof.

SURVEYOR'S CERTIFICATION:
I, Richard J. Kole, do hereby certify that this survey was made on the ground under my supervision on August 22, 2025 and that it is true and correct to the best on my knowledge and belief.
Richard J. Kole Date August 22, 2025
Richard J. Kole, Reg. Surveyor #7889

BASIS OF BEARINGS:
State Plane Grid North, NAD 83 (2011),
Ohio North Zone. Tied by GNSS to O.D.O.T. VRS.

VERTICAL DATUM:
Navd 88, derived from GNSS observations
through the O.D.O.T. VRS.



DATE:
AUG 21, 2025
SCALE:
1" = 30'
DRAWN BY:
R.D.S.
FILE NO.
25178 TOPO
SHEET 1 OF 1

COPLEY TOWNSHIP SITE PLAN REVIEW MAJOR SITE PLAN/VARIANCE 1330 S CLEVELAND MASSILLON RD STAFF REPORT



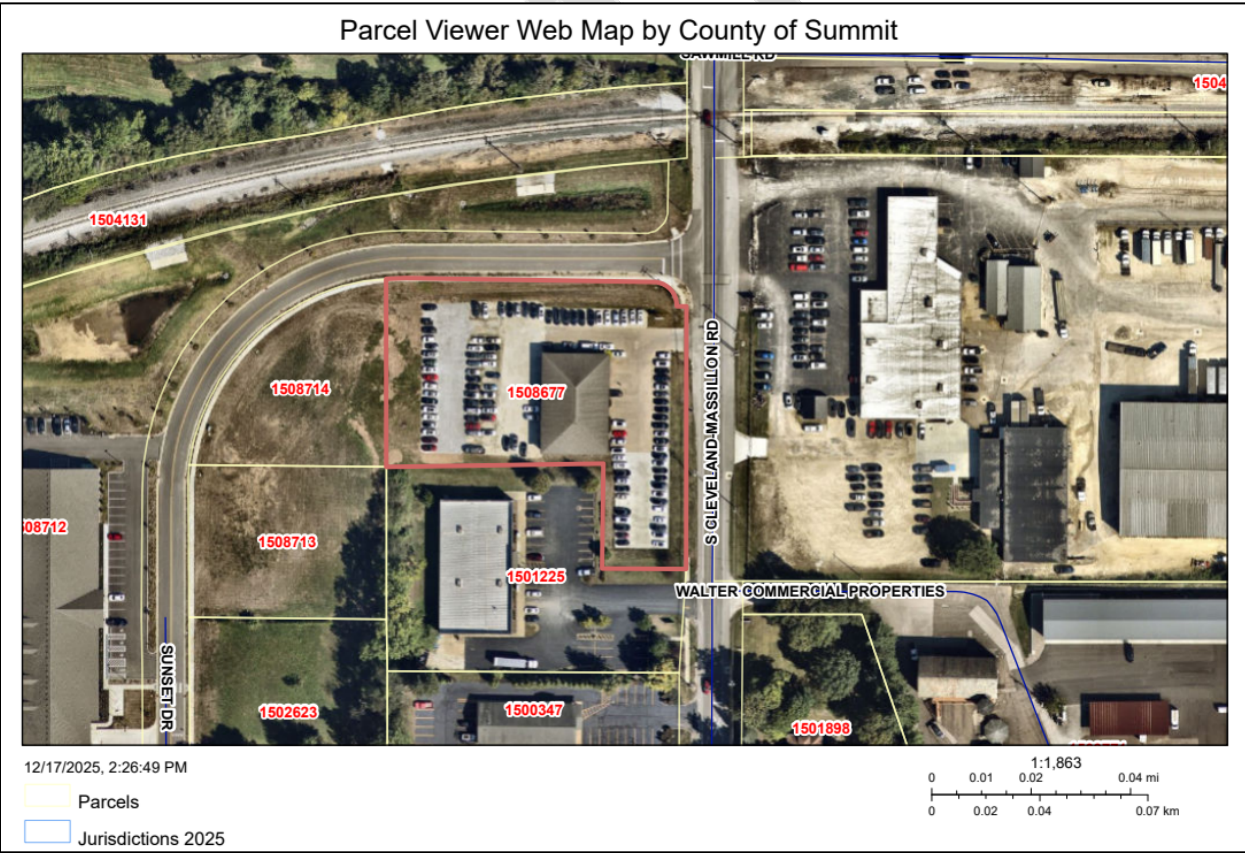
January 5, 2026

PROJECT: Autobahn Service Center PPN: 1508677	APPLICATION TYPE: Major Site Plan/Variance
LANDOWNER	Copley Holdings LLC
APPLICANTS	David W Smith, Architect LLC
COMPANY PERFORMING WORK REQUESTED	Weber Engineering
INVESTMENT	\$1,400,000
APPLICATION SUMMARY	<i>Applicant, David W Smith, on behalf of Autobahn Service Center, is requesting Site Plan and variance approvals for a commercial addition and parking lot improvements.</i>
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Section 5.01-I Industrial Sections- 9.06 5., 8 a., 9. Parking Construction, Wheel stops & Setbacks Section 13.01 F-Site Plan Review Article 14-Landscaping, Buffering and Screening
GENERAL LOCATION	The parcel is located on the corner of Sunset Drive and S Cleveland Massillon Road
LAND AREA	1.8 Acres
ZONING	Industrial (I)
ARCHITECTURAL REVIEW BOARD	January 5, 2026
BOARD OF ZONING APPEALS	January 14, 2026
EXTERNAL AGENCY REVIEW	Summit County Engineer

	Summit Soil & Water Conservation District
STAFF COMMENTS	<p>New right-of-way on Sunset Drive</p> <p>Detention under review</p> <p>Recent consolidation of parcels</p>

PROPERTY LOCATION

SITE	ZONING	LAND USE
North	Industrial	Railroad
South	C-GR	Commercial
East	Industrial	Vacant
West	Industrial	Industrial (Lumber)



PROJECT DESCRIPTION

Applicant, David W Smith, on behalf of Autobahn Service Center, is requesting Site Plan and variance approvals for a commercial addition and parking lot improvements.

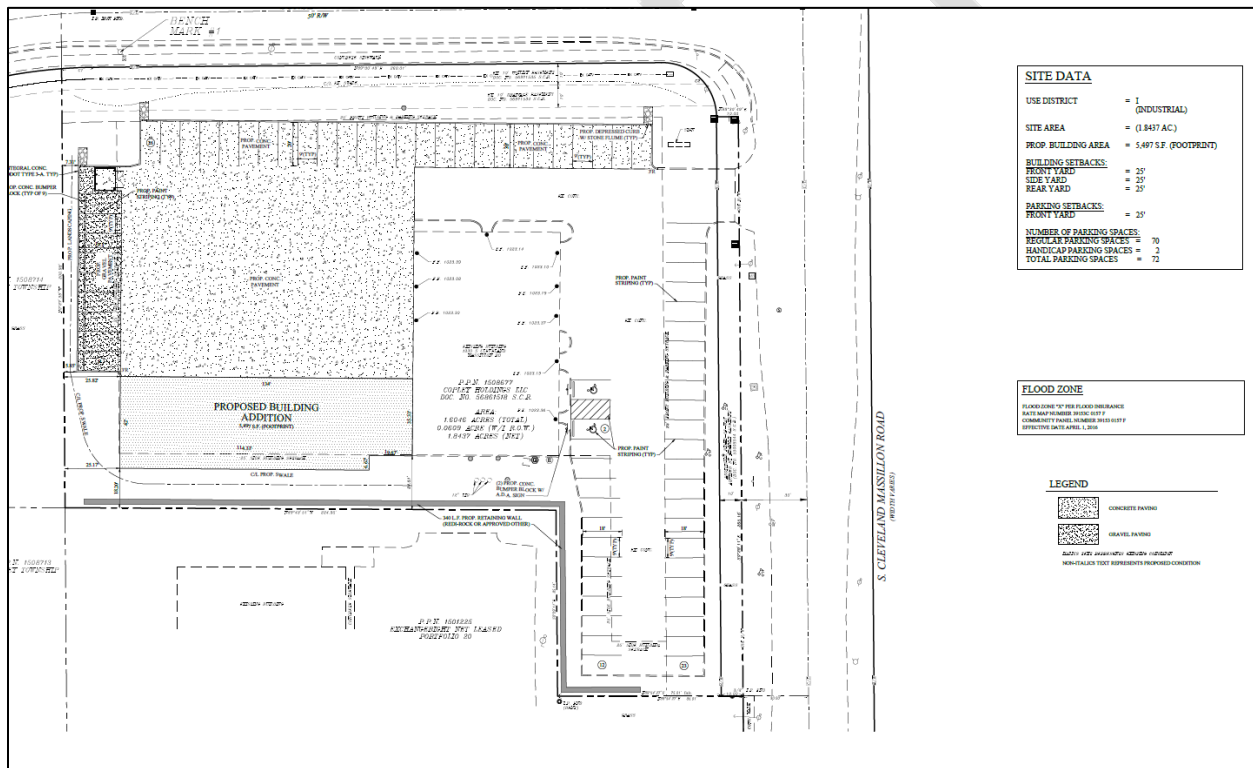
The proposed addition is located to the rear of the main building.

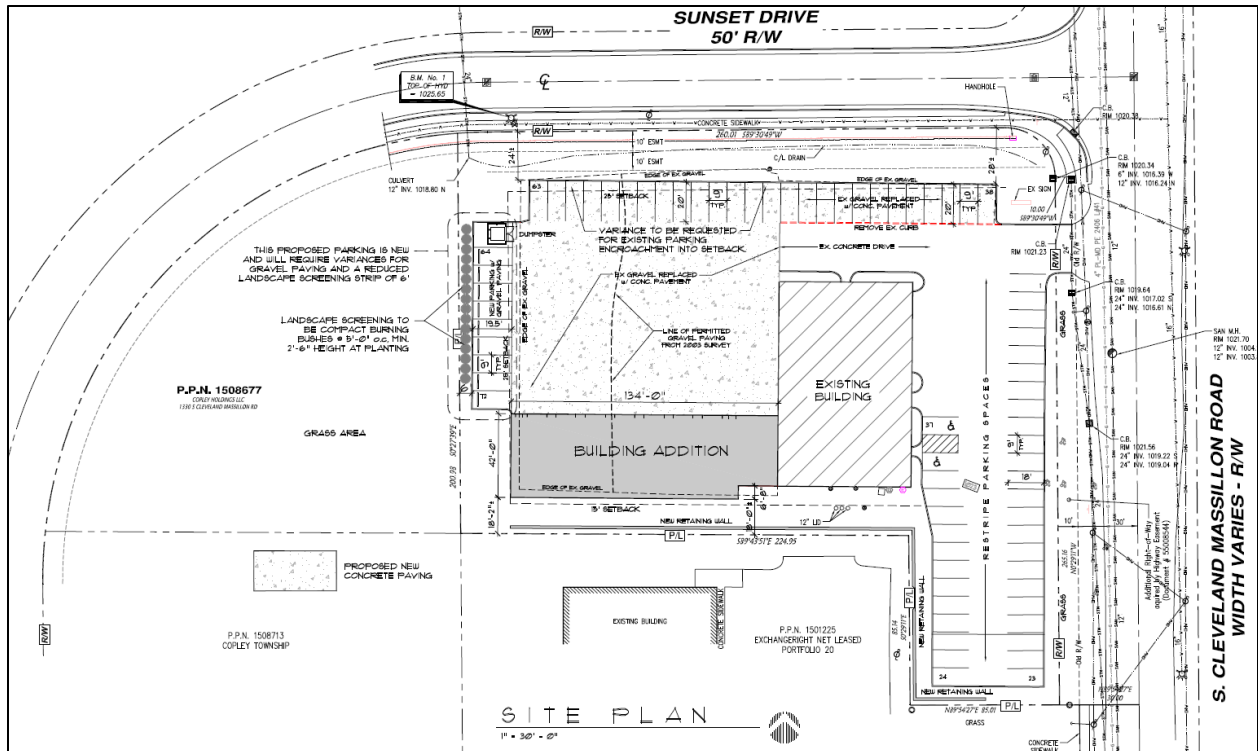
The existing building is 6,890 square feet in overall area.

The addition is 42' x 134' (5,497 square feet in overall area) for a total new building footprint of 12,389 square feet in overall area.

Overall updates are inclusive of:

- Seven (7) new service bays
- New storage area
- Replacement of gravel parking areas with concrete pavement
- Restripe of existing parking spaces
- Brick veneer & asphalt shingles to match existing building
- Overhead Service Bay doors



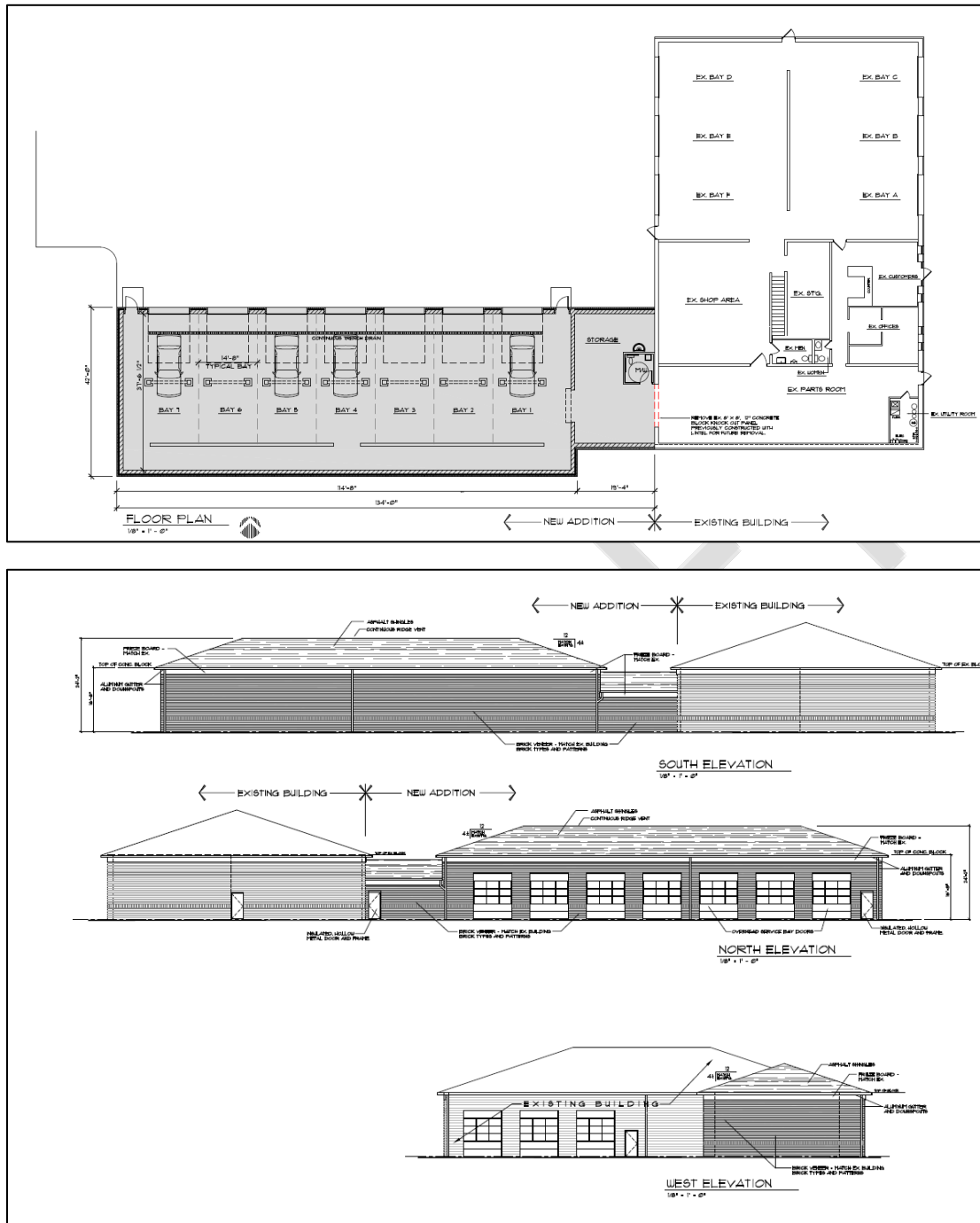


ARTICLE 5-SECTION 5.01 D.

DEVELOPMENT STANDARDS

- 25' Minimum Front Yard Setback
 - Proposed Setback-Sunset Drive-60'+
 - Proposed Setback-S Cleveland Massillon Rd-60'
- 25' Minimum Rear Yard Setback: West
 - Proposed Setback-25'
- 25' Minimum Side Yard Setback
 - Proposed Setback- South: 18'
 - On 6/5/1991, A variance was granted for the reduction in the side yard setback from 25' to 15'
- 50' Maximum Building Height: The structure will be consistent in height with the existing structure. The structures do not exceed 25' in overall height

ELEVATIONS

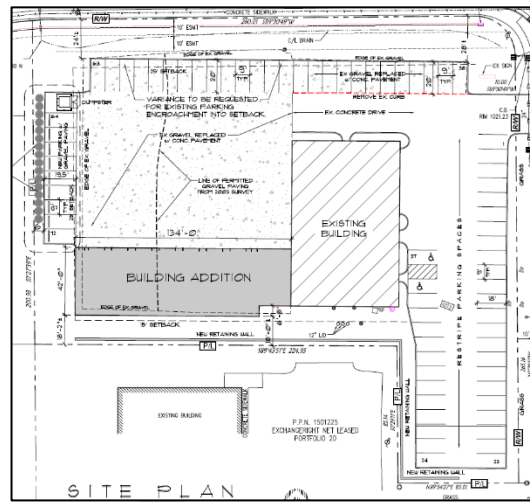


PARKING STANDARDS-Variance Required

The applicant plans to reconfigure the existing parking lot which will result in a reduction of 9 parking spaces and an increase of 1,600 square feet of new impervious surface for the proposed lot along the western side yard property line.

- Existing parking

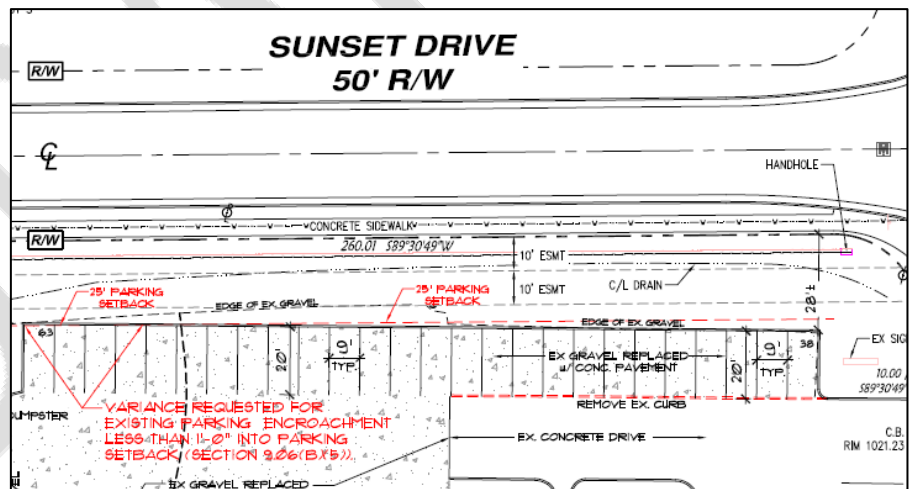
- 81 spaces
- Permitted parking
 - 72 spaces per Copley Township Board of Trustees development agreement for Sunset Drive
- Proposed parking
 - 72 spaces
 - Recommend removal of space 1



VARIANCE 1: Reduction in the required parking setback (Sunset Drive)

Per Article 9, Section 9.06, 5. Yard Requirements. Subject to the limitations of Section 9.06 B. 2. a., off-street parking spaces may occupy all or any part of any required side or rear yard. However, in no event, shall any required front yard or the side yard along the side street in the case of a corner lot be occupied by such parking space.

Request: Variance to encroach into the 25' front yard setback by 1'



VARIANCE 2: Parking Surface

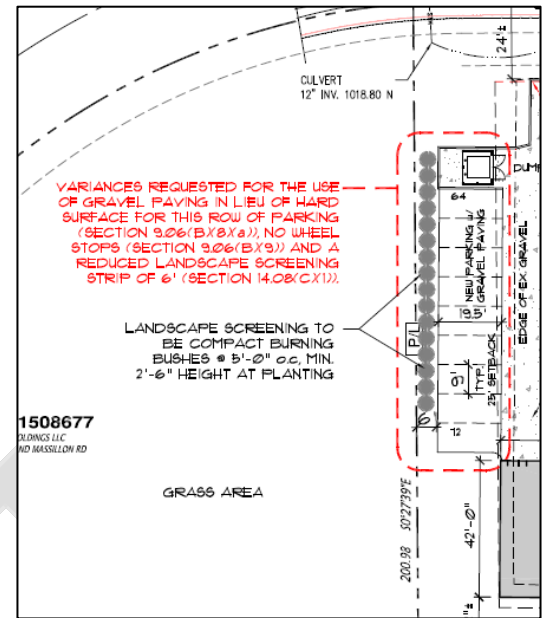
Per Article 9, Section 9.06 8. a. Required parking spaces, access drives, and loading areas shall be paved and maintained with concrete, asphalt, or similar material of sufficient thickness and consistency to support anticipated traffic volumes and weights.....

Request: Variance to maintain gravel surface for parking area along the western property line

VARIANCE 3: Wheelstops

Per Article 9, Section 9.06 9. Wheel Stops. Whenever a non-residential parking area extends to a lot line, sidewalk, planter strip or building, a wheel stop device consisting of blocks, a permanent curb, expanded sidewalk or other suitable restraint shall be installed. The minimum height of a wheel stop device shall be five (5) inches and the minimum distance from a wheel stop device to a property line or protected area shall be two (2) feet six (6) inches.

Request: Relief from section 9.06 9. No wheel stops



ARB Approval: Per Article 14, Section 14.08 C. 1.

Request: Reduce required perimeter landscaping along western property line from 10' to 6':

LANDSCAPE REQUIREMENTS:

Per Article 14, Landscaping, Buffering and Screening

Section 14.08 C. 1. Parking lots shall have a perimeter landscaping of a minimum width of 10' exclusive of vehicle overhang. 2. 2. This perimeter landscaping shall contain sufficient plant material that will achieve an effective, year-round opaque screen of a height of at least three feet within (2) years of installation. The perimeter buffer zone shall also contain deciduous trees and allow adequate snow storage area.

Section 14.06-Building Façade Landscaping the applicant is required to provide landscape at least 75% of the building façade to include at minimum of 3 trees for every 100 lineal feet. At 60' of building frontage, the applicant is required to install 2 trees.

Per Article 14- Section 14.08-Screening and Landscaping of Parking Lots the applicant is required to have one landscape island for every 10 spaces including one tree per island and 10 feet of perimeter landscaping. The applicant is proposing 11 spaces and plans to install 2 parking islands located at the curb and install perimeter landscape along with concrete drive.

DEPARTMENT & AGENCY COMMENTS

Copley Township Architectural Review Board	Review pending
Copley Township Fire Department	No objections
Copley Township Service Department	No objections
Copley Township Police	No objections
Summit County Engineers Office	Detention/runoff calculations under review.
Summit County Soil & Water Conservation District	Detention/runoff calculations under review.
Copley Township Department of Community & Economic Development	Complimentary addition to an industrial building.

SUGGESTED MOTION FOR CONSIDERATION

The **Copley Township Architectural Review Board** motions to recommend (approval/approval with conditions/deny) the applicants Major Site Plan application inclusive of the following:

1. 1' encroachment in the required front yard setback for parking along the norther property line (Sunset Drive)
2. Use of gravel in place of concrete for the parking row along the western property line consisting of 9 parking spaces
3. Relief from the requirement to utilize wheel stops
4. Reduction in the parking landscape buffer along with western property line from 10' to 6'

Staff Comment: Conditioned upon agency review and approval and variance.

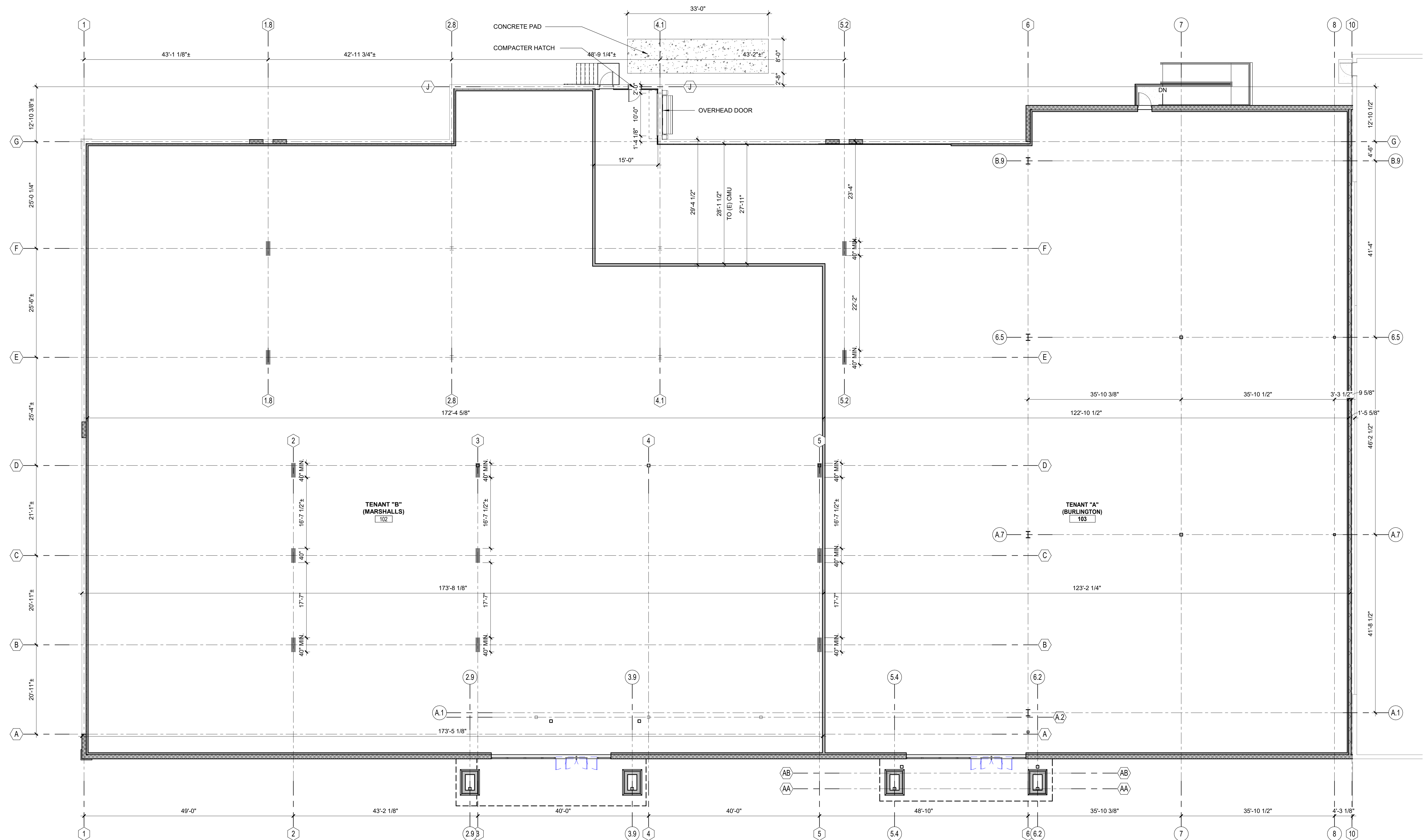
The **Copley Township Board of Zoning Appeals** motions to (approval/approval with conditions/deny) the applicants variance requests as follows.

Variance 1: Reduction in the required parking setback (Sunset Drive): Article 9, Section 9.06, 5.-1' parking encroachment is the 25' front yard setback along Sunset Drive

Variance 2: Parking Surface: Article 9, Section 9.06 8. A-Use of gravel in place of concrete for the parking row along the western property line consisting of 9 parking spaces

Variance 3: Wheel stops: Article 9, Section 9.06 9.-Relief from the requirement to utilize wheelstops

- *Staff Comment: Parking area is not utilized for typical customer parking which results in less frequent cars pulling in and out of the space; area not near sidewalk or public right of way*



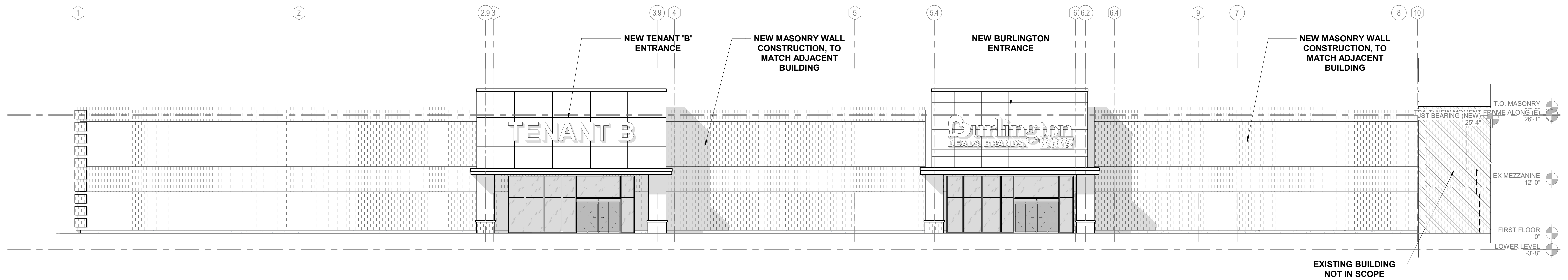
FIRST FLOOR PLAN

3/32" = 1'-0"

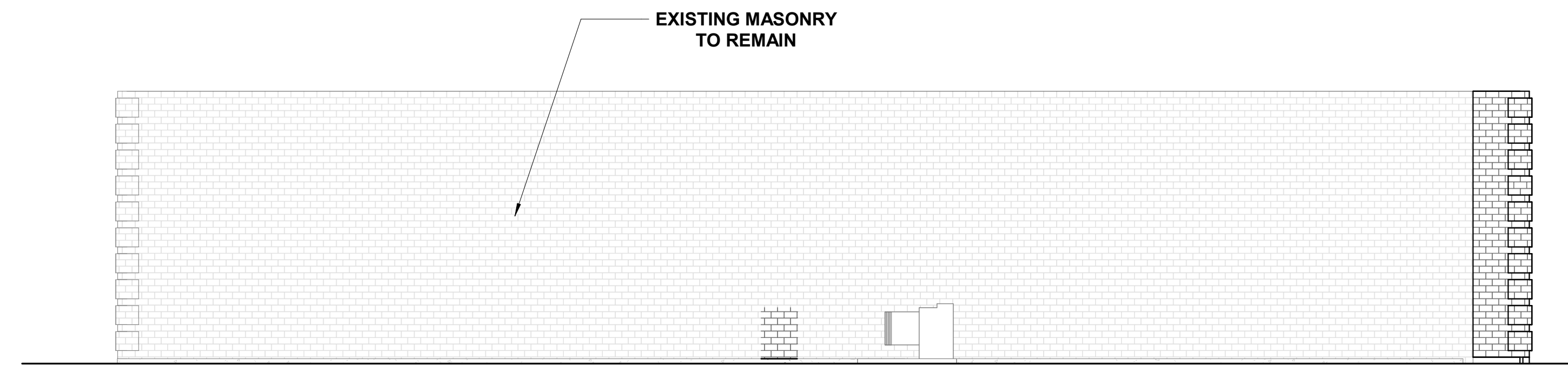
REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321

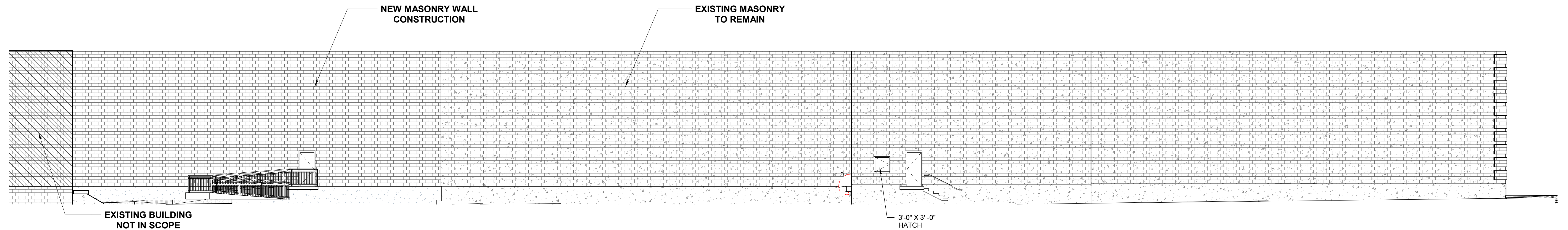
SCHEMATIC DESIGN FLOOR PLAN | 12.5.2025



EXTERIOR ELEVATION
3/32" = 1'-0"



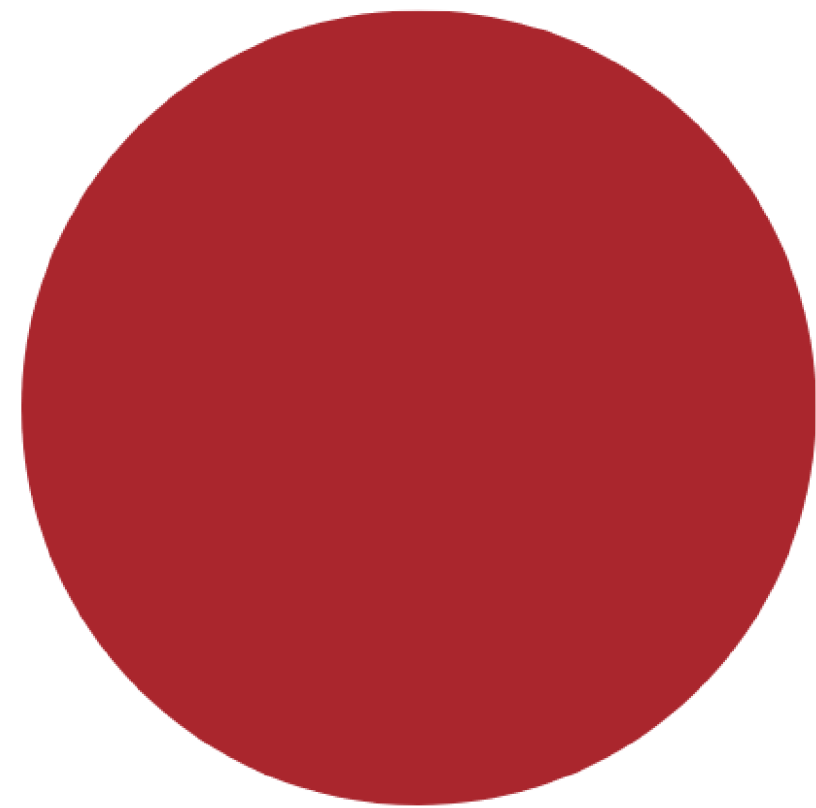
EXTERIOR ELEVATION
3/32" = 1'-0"



EXTERIOR ELEVATION
3/32" = 1'-0"

REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN ELEVATION | 12.5.2025



NICHIHA ILLUMINATION PANEL : CUSTOM BURLINGTON RED



ALUCOBOND EYEBROW CANOPY PROJECTION



EIFS, SW7009 PEARLY WHITE

PRE-FINISHED METAL
CONTINUOUS CLEAT COPING
BY PAC-CLAD OR ATAS.
COLOR TO MATCH EXISTING

NICHIHA ILLUMINATION PANELS
CUSTOM BURLINGTON RED
(HORIZONTAL ORIENTATION)
PANELS 1'-6" X 6'-0" WIDE

STORE SIGNAGE,
(UNDER SEPERATE PERMIT)

MASONRY TO MATCH
EXISTING

FOUNDATION TO MATCH
EXISTING

T.O. MASONRY
28'-0"

MASONRY TO MATCH
EXISTING

ALUCOBOND EYEBROW CANOPY
W/ UNDER CANOPY LIGHTING.
FINISH TO BE ANNOZIZED
ALUMINUM

FIRST FLOOR
0"

EIFS, COLOR TO MATCH
SW7009 PEARLY WHITE

AUTOSLIDING DOORS,
FINISH TO BE CLEAR
ANODIZED ALUMINUM

EIFS, COLOR TO MATCH
SW7009 PEARLY WHITE

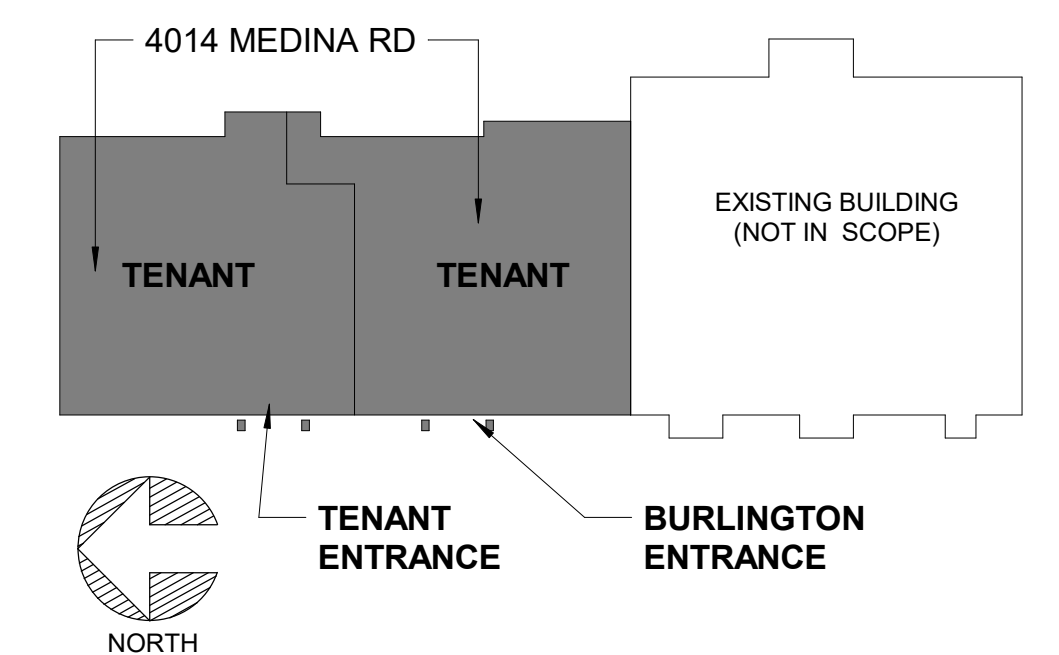
ENLARGED EXTERIOR ELEVATION - FRONT FACADE
1/4" = 1'-0"



EXISTING PHOTO

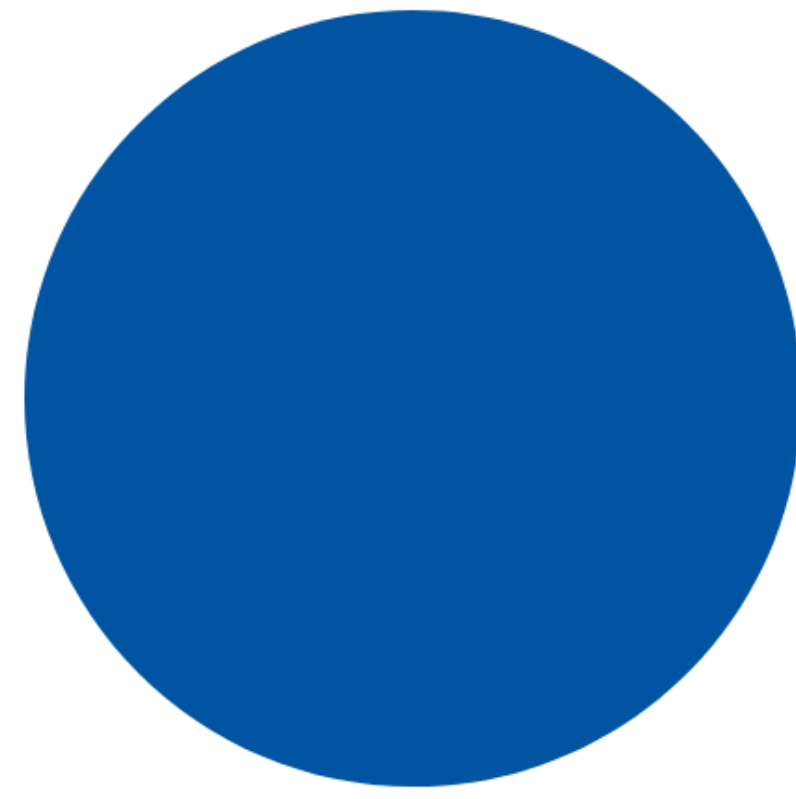


3D View 2



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025



SIGNAGE, PARAPET, TRIM; ORACAL 7500 #006 INTENSE BLUE



EIFS WHITE; SW7006 EXTRA WHITE



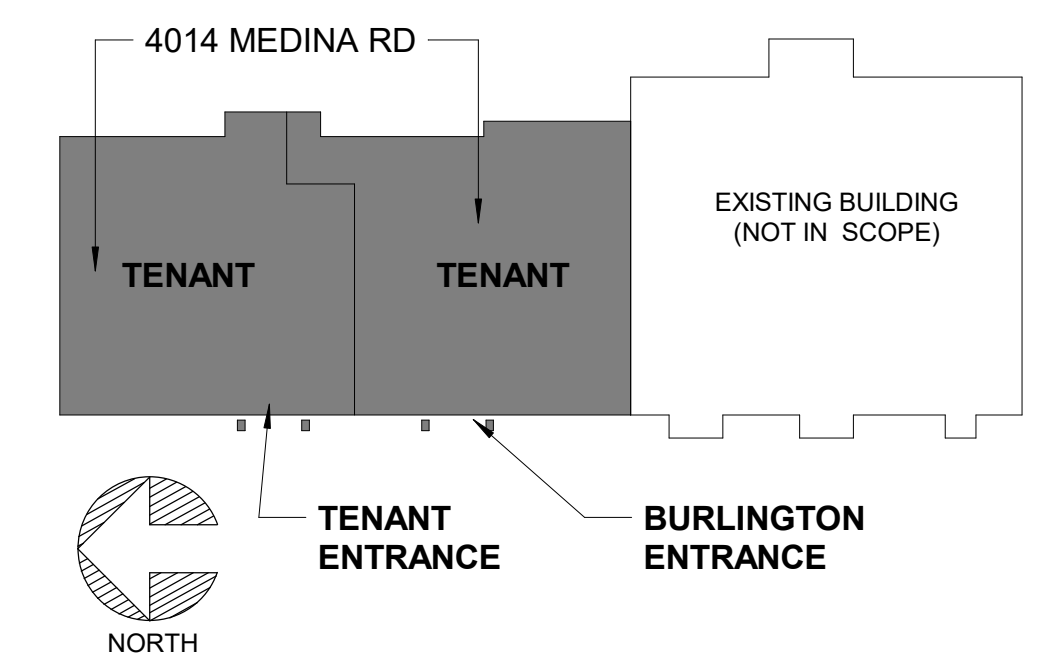
EXTERIOR ELEVATION - FRONT FACADE - TENANT B
1/4" = 1'-0"



EXISTING PHOTO



3D View 3



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025

OWNER/APPLICANT: NAME:	
ADDRESS: PHONE:	

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF COPLEY AT THE
REGULAR MEETING OF _____
DATE _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

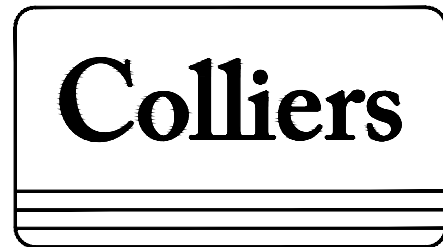
ENGINEER _____ DATE _____



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



C:\AC\Projects\AC\Drawings\Burlington & Ross Turnkey Fit Out\Renovation - Monroise - OH\Project Plans\Engineering\Site Development\Plan\AC\Drawings\C-200\DEMOLITION.dwg By: HMM\HMM.dwg On: 2025-12-25 - 14:05pm



Engineering & Design

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REV	DATE	DESCRIPTION



PROTECT YOURSELF
ALL STATES REQUIRE
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ANYWHERE IN ANY STATE
Remember to dial 811 before you dig.


FOR STATE SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM

BURLINGTON&ROSS TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

BURLINGTON RENOVATION PROJECT

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO



Engineering & Design

TOLEDO (BA)
3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567.318.1531
COLLIERS ENGINEERING & DESIGN, INC.

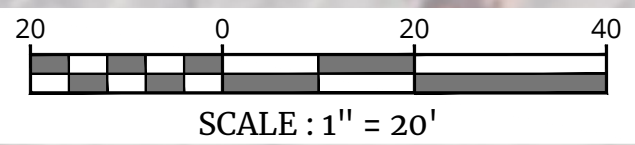
SCALE:	DRAWN BY:
AS SHOWN	HMK
DESIGNED BY:	REVIEWED BY:
HMK	DJF
DATE ISSUED:	PROJECT NUMBER:
11/03/2025	25004311A

SHEET NAME:

SITE DEMOLITION PLAN

DRAWING NUMBER:

C-200

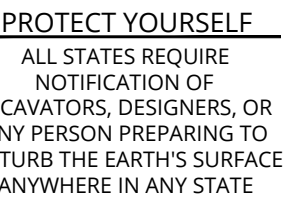


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[illegible]

FOR STATE SPECIFIC DIRECT PHONE NUMBERS
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MAJOR SITE PLAN
PARCEL ID#1507082

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

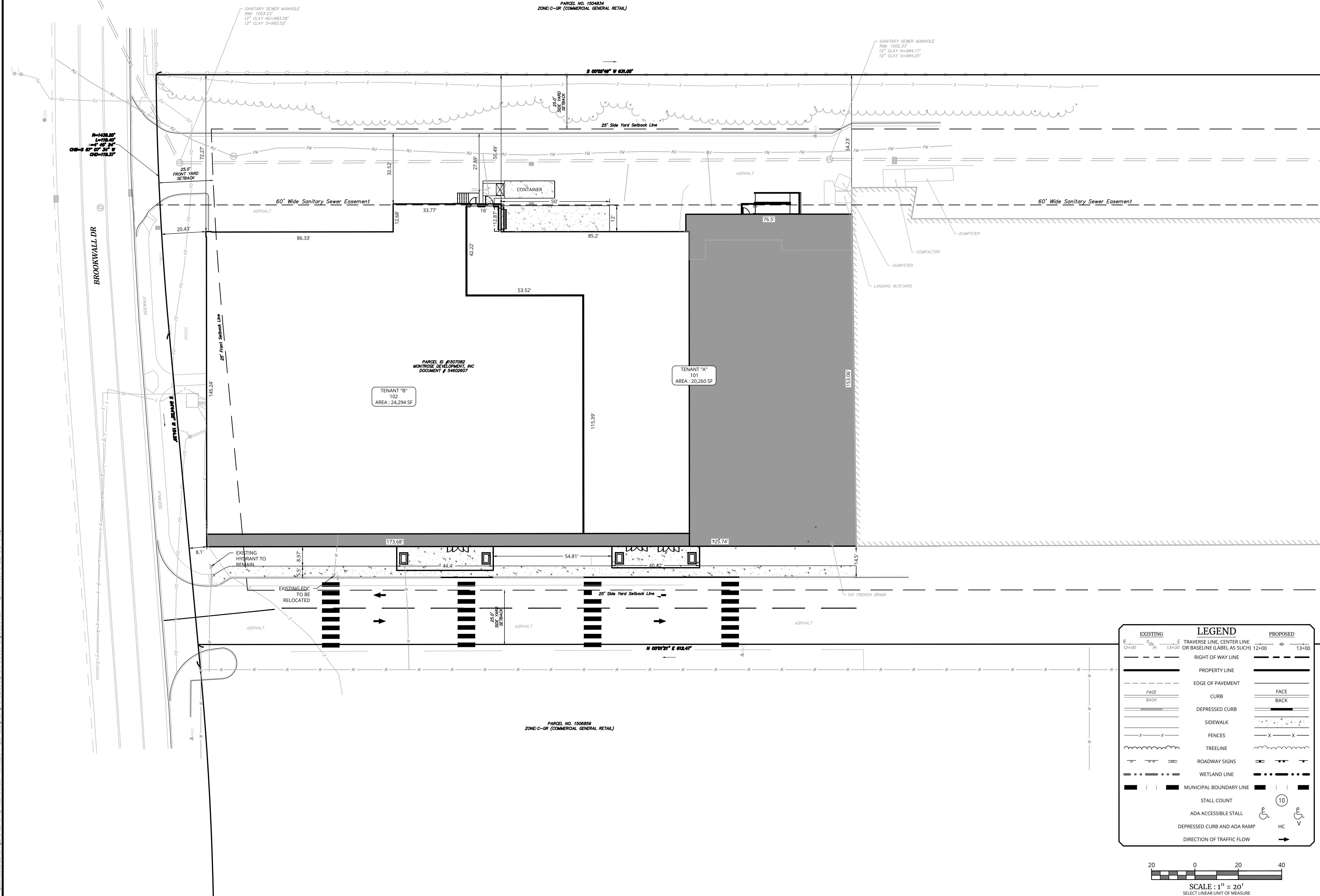
Colliers
Engineering & Design, Inc.
TOLEDO (BA)
3410 Briarfield Blvd
Suite C
Maumee, OH 43537
Phone: 567.318.1531
COLLIERS ENGINEERING & DESIGN, INC.

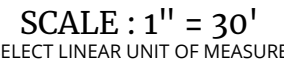
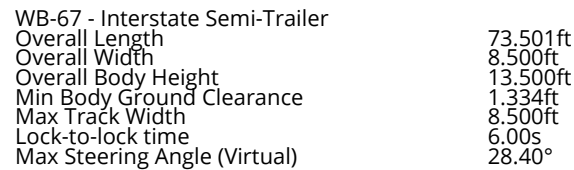
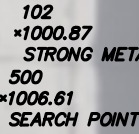
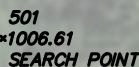
SCALE:	DRAWN BY:
AS SHOWN	HMK
DESIGNED BY:	REVIEWED BY:
HMK	DJF
DATE ISSUED:	PROJECT NUMBER:
11/03/2025	25004311A
SHEET NAME:	

DRAWING NUMBER:

C-300

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REV	DATE	DESCRIPTION
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BURLINGTON&ROSS
TURNKEY FIT OUT

MAJOR SITE PLAN
PARCEL ID#1507082

BURLINGTON RENOVATION PROJECT

4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO



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Suite C
Maumee, OH 43537
Phone: 567.318.1531
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SCALE:

DRAWN BY:

AS SHOWN

HMK

DESIGNED BY:

REVIEWED BY:

HMK

DjF

DATE ISSUED:
11/22/2025

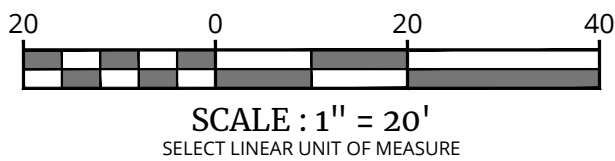
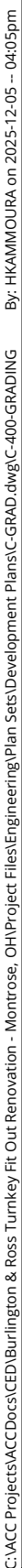
PROJECT NUMBER
0500101

TRUCK TURN PLAN

DRAWING NUMBER:

C-301

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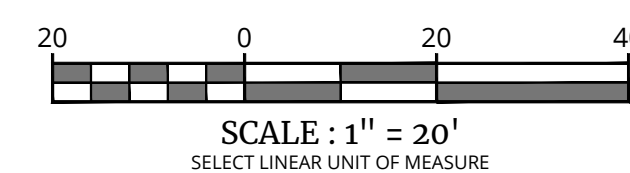
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4020 MEDINA ROAD
FAIRLAWN
SUMMIT COUNTY, OHIO

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HMK	DJF
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11/03/2025	25004311A

DRAWING NUMBER:

C-500



- UN-EXCAVATED SOIL
- EXCAVATED SOIL (MIN CBR: 4)
- ASPHALT
- CONCRETE

CLEANING/ MAINTENANCE

- SKID-STEER BROOM ATTACHMENT
- STREET SWEEPER (REQUIRES ADJUSTED BRISTLE HEAD
- PRESSURE WASHER (MUST HAVE ABILITY TO CONTAIN WATER) WATER TRUCK (MUST HAVE ABILITY TO CONTAIN WATER)

SUITABLE INSTALLATION SUBSTRATE

SILT FENCE
SCALE: NONE

MAX. DRAINAGE AREA PER 100' OF SILT FENCE

MAX. DRAINAGE AREA PER 100' OF SILT FENCE	RANGE OF SLOPE FOR DRAINAGE AREA
0.5 ACRES	< 2%
0.25 ACRES	≥ 2% BUT < 20%
0.125 ACRES	≥ 20% BUT < 50%

SECTION B-B

SILT FENCE A
SILT FENCE B
SILT FENCE JOINT
SILT FENCE A COUPLER

DETAIL 1

SILT FENCE A
SILT FENCE B
SILT FENCE JOINT
FABRIC TO BE WRAPPED AROUND FENCE POST

FRONT VIEW

2X2 FENCE POST DRIVEN INTO GROUND 1' MIN.
10' MAX. SPACING
LEVEL CONTOUR NO SLOPE
16" MIN.
6" ANCHOR TRENCH
SUPPORT FENCE
GEOTEXTILE FILTER FABRIC
SHEET FLOW
COMPACTED EARTH
UNDISTURBED VEGETATION

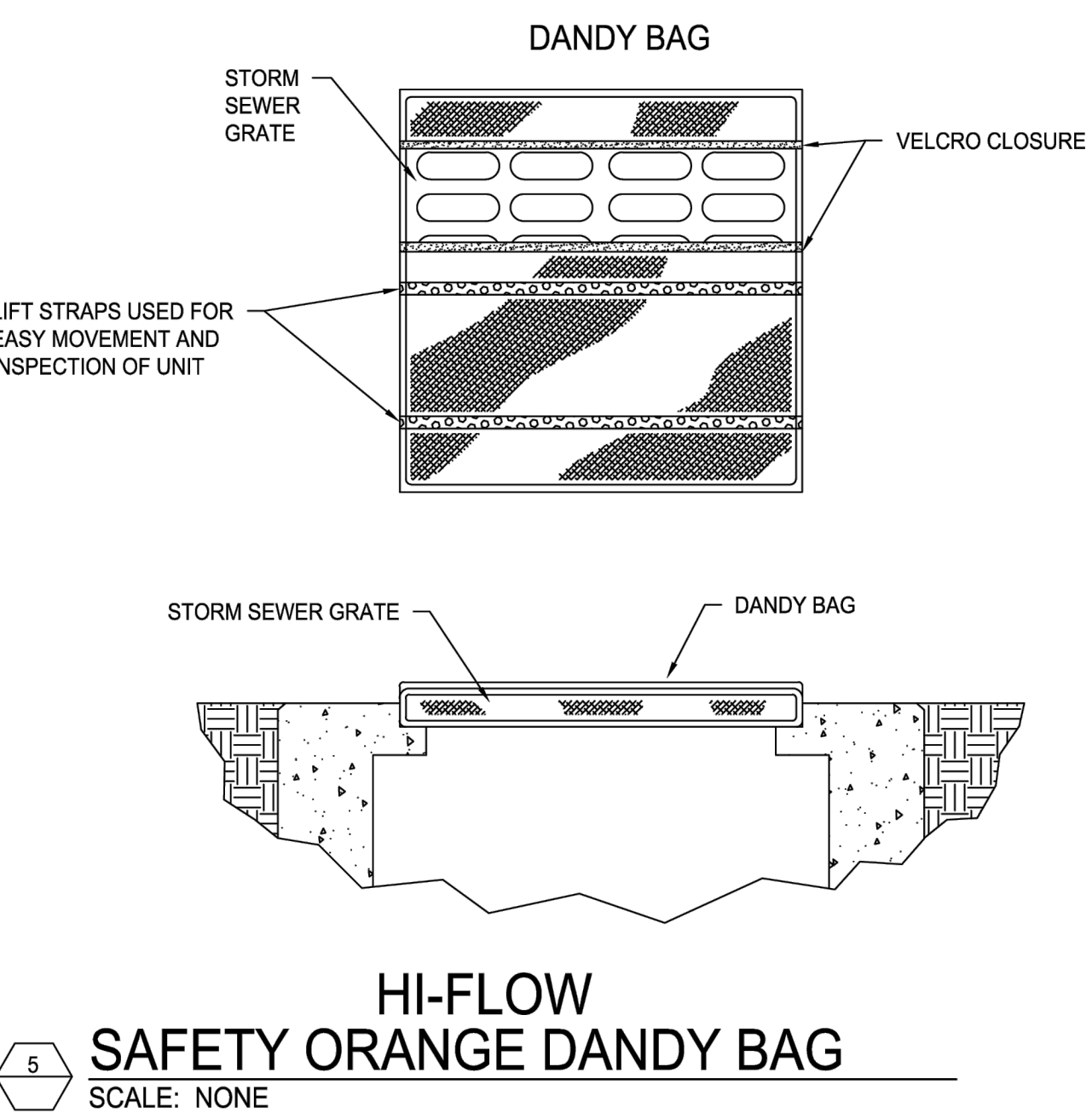
SECTION A-A

GEOTEXTILE FILTER FABRIC FASTENED ON UPHILL SIDE TOWARDS EARTH DISRUPTION
RIDGE OF COMPACTED EARTH ON UPHILL SIDE OF FILTER FABRIC
SHEET FLOW
16" MIN.
6"x6" ANCHOR TRENCH TO BE BACKFILLED AND COMPACTED
UNDISTURBED VEGETATION

MINIMUM CRITERIA FOR SILT FENCE FABRIC

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS (535 N)	ASTM D 4832
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4832
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤ 0.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10-2 SEC. -1	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355

NOTE: INSTALL SILT FENCE ALONG CONTOURS CURVING UPSLOPE AT ENDS



E6

MULCHING SPECIFICATIONS

When

- When areas are subject to erosive surface sheet flows or severe wind.

Why

- Temporarily protects seeded areas and slopes against erosion from rain or wind. Holds soil moisture to allow for seed germination and reduces wind desiccation of germinated seeds. Inhibits seed consumption by birds.

Where

- Use on exposed slopes, newly seeded areas and other areas subject to erosion.

How

1. Other surface runoff control measures should be installed prior to mulching.
2. Prepare surface to proper grade and compaction requirements.
3. If treatment area is to be revegetated immediately, spread or drill seed, or install vegetative strips into planting surface.
4. Select mulch material appropriate for site characteristics, including grade, level of traffic, installation method, and availability.


Straw – Most common and widely used material. Provides organic matter as it breaks down. Effectiveness of sediment reduction high for at least 3 months. Subject to windblow and leachout. For straw, apply a minimum of 2 tons/ac or approx. 50 lbs./1,000 sq.ft. to cover the surface. Increase application rates 50% for dormant seeding.

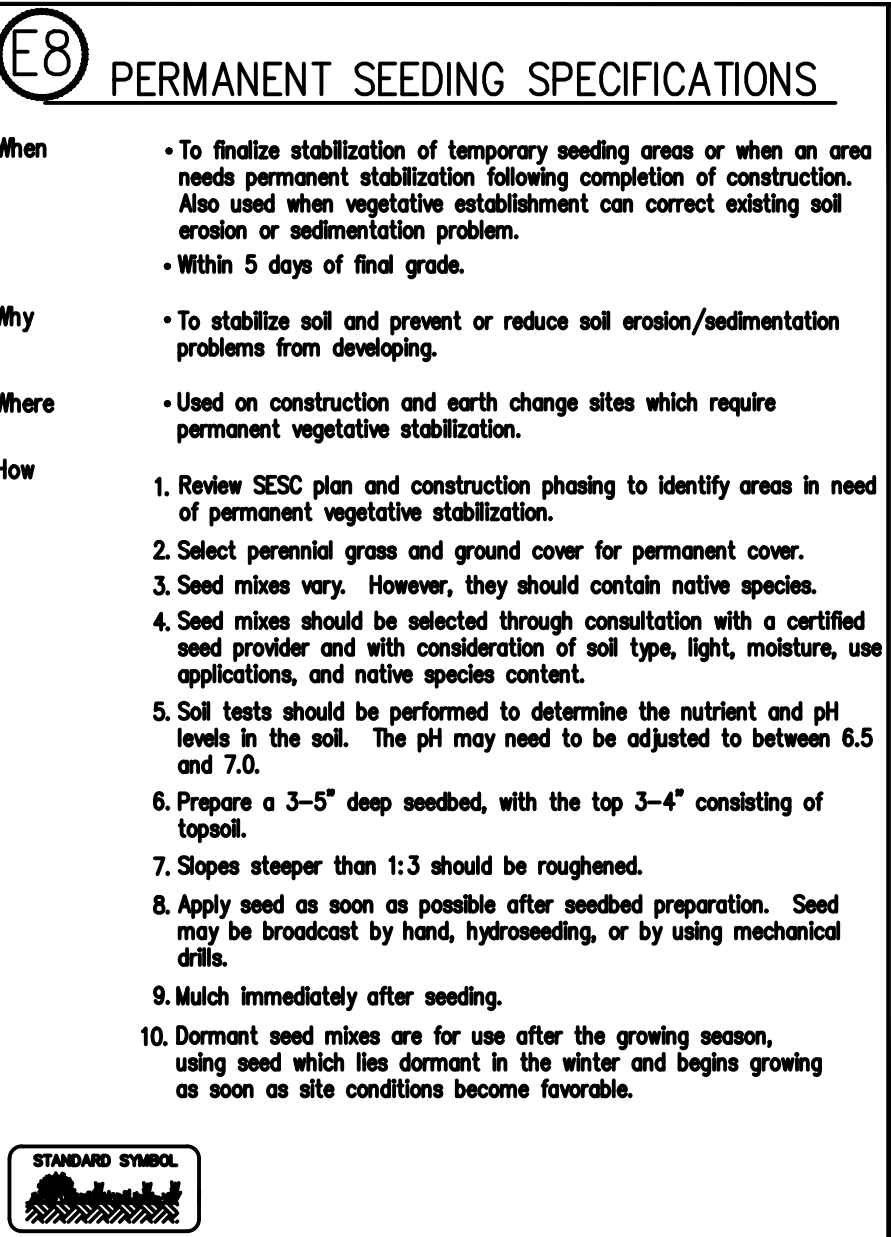
Rock – Crushed stone and gravel maintain effectiveness indefinitely if maintained to repair compaction. Cover 2–3" in depth (approx. 2.27 tons/1,000 sq. ft.).

Wood chips/bark – Chips decompose slowly but may require nitrogen fertilizer application to avoid nutrient deficiency. Tend to wash down slopes over 6% and may clog inlet grates. Cover 2–3" in depth.

5. Mulches should not be applied if free surface water is present but may be applied to wet soil.

STANDARD SYMBOL






PERMANENT SEEDING SPECIFICATIONS

E8

- low
cont.)
 - 11. Protect seeded areas from pedestrian or vehicular traffic.
 - 12. Divert concentrated flows away from the seeded area until vegetation is established.
- maintenance
 - Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.
 - Add supplemental seed as necessary.
- limitations
 - Seeds need adequate time to establish.
 - May not be appropriate in areas with frequent traffic.
 - Seeded areas may require irrigation during dry periods.
 - Seeding success is site specific, consider mulching or sodding when necessary.

<div>  <h1>PERMANENT SEEDING</h1> </div>			
Planting Zones	Lower Peninsula (South of T20N) Zone 1	Lower Peninsula (North of T20N) Zone 2	Upper Peninsula Zone 3
Seeding Window Permanent Seeding	4/15 – 10/10	5/1 – 10/1	5/1 – 9/20
Seeding Window Dormant Seeding	1/15 – Freeze	11/01 – Freeze	11/01 – Freeze

Source: Adapted from 0007 Interim 2023 Standard Specifications for Construction

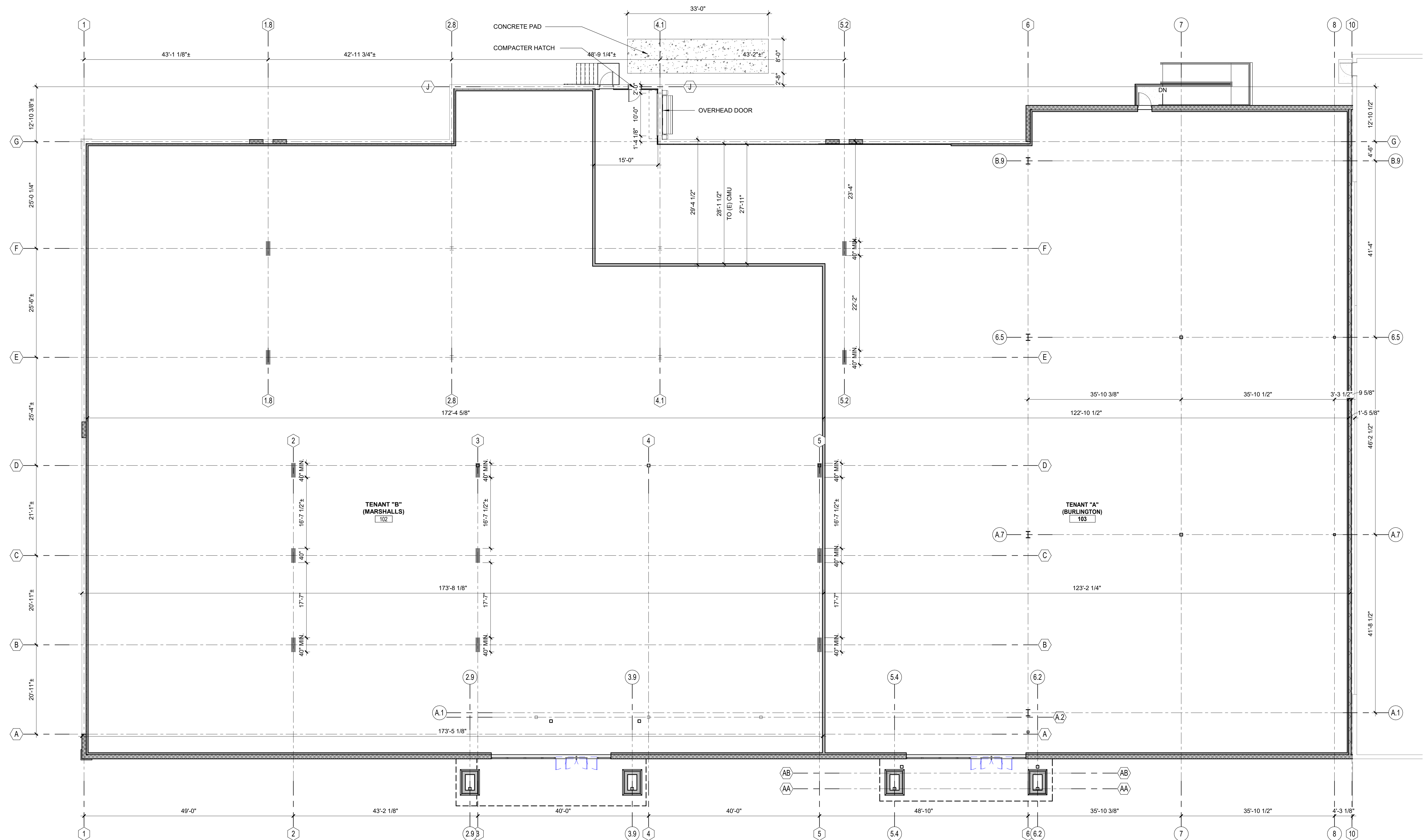
	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
Seeding Dates (with irrigation or melt)	4/1 – 8/1	5/1 – 9/20	5/1 – 9/10
Seeding Dates (w/o irrigation or melt)	4/1 – 5/20 8/10 – 10/1	5/1 – 9/10 8/1 – 9/20	5/1 – 9/10 8/1 – 9/20
Dormant Seeding Fall [*]	1/1 – Freeze	10/25 – Freeze	10/25 – Freeze

Source: Adapted from USDA NRCS Technical Guide #542 (1989)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to the recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



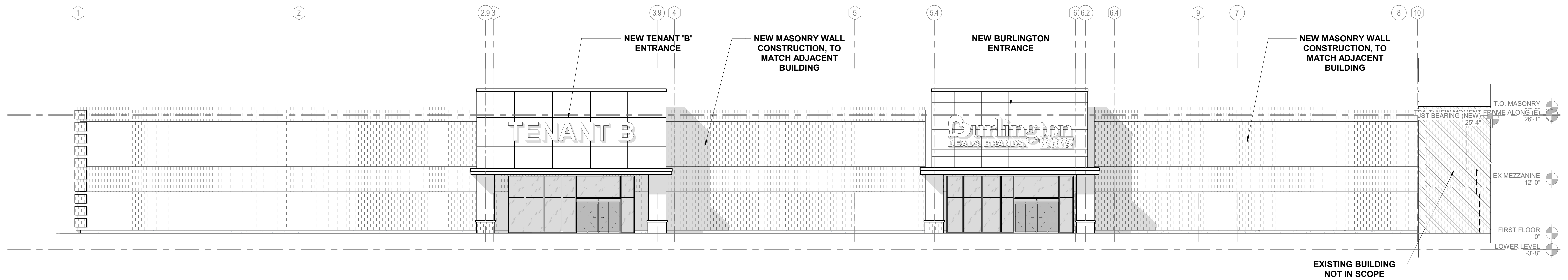
FIRST FLOOR PLAN

3/32" = 1'-0"

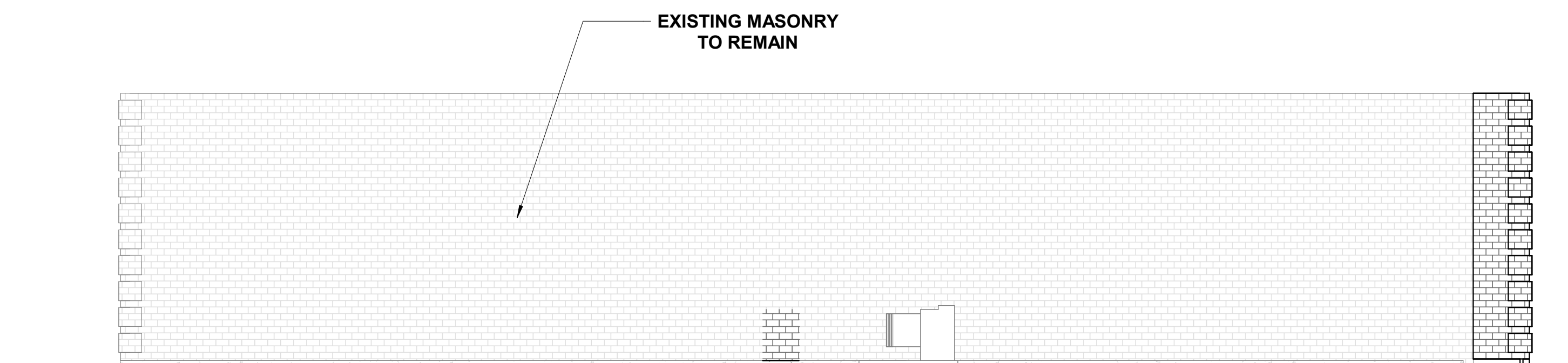
REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321

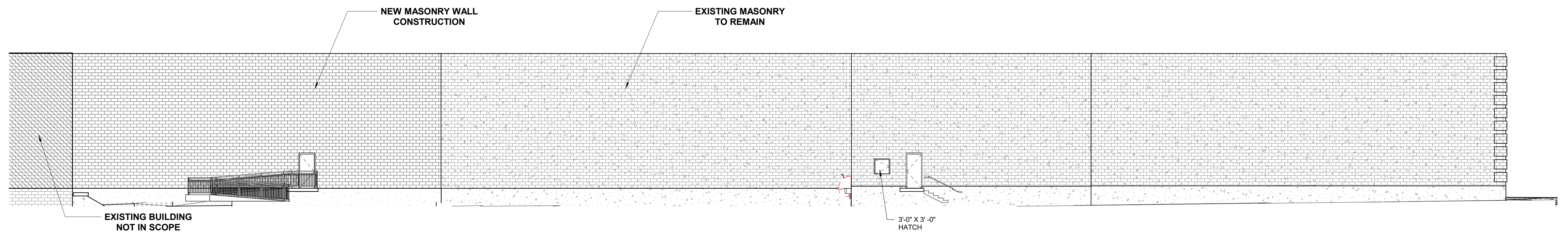
SCHEMATIC DESIGN FLOOR PLAN | 12.5.2025



EXTERIOR ELEVATION
3/32" = 1'-0"



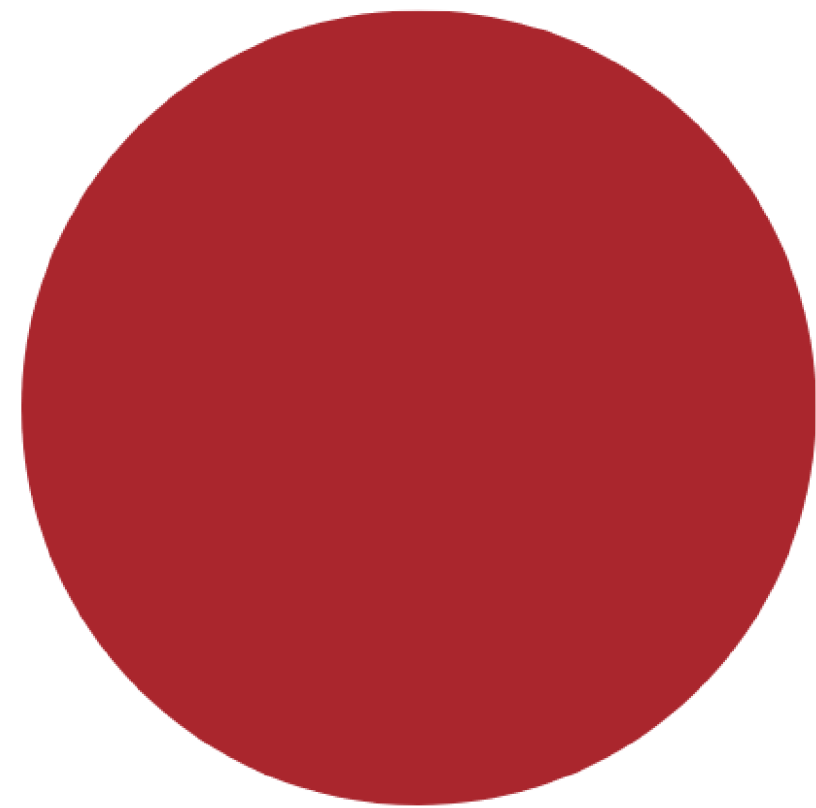
EXTERIOR ELEVATION
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EXTERIOR ELEVATION
3/32" = 1'-0"

REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN ELEVATION | 12.5.2025



NICHIHA ILLUMINATION PANEL : CUSTOM BURLINGTON RED



ALUCOBOND EYEBROW CANOPY PROJECTION



EIFS, SW7009 PEARLY WHITE

PRE-FINISHED METAL
CONTINUOUS CLEAT COPING
BY PAC-CLAD OR ATAS.
COLOR TO MATCH EXISTING

NICHIHA ILLUMINATION PANELS
CUSTOM BURLINGTON RED
(HORIZONTAL ORIENTATION)
PANELS 1'-6" X 6'-0" WIDE

STORE SIGNAGE,
(UNDER SEPERATE PERMIT)



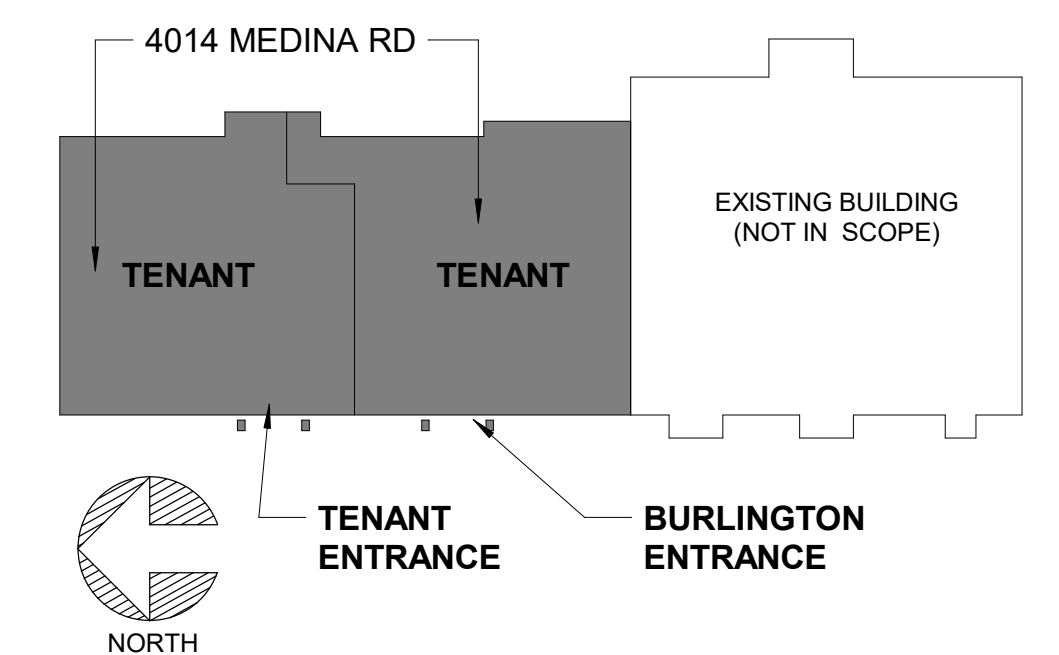
ENLARGED EXTERIOR ELEVATION - FRONT FACADE
1/4" = 1'-0"



EXISTING PHOTO

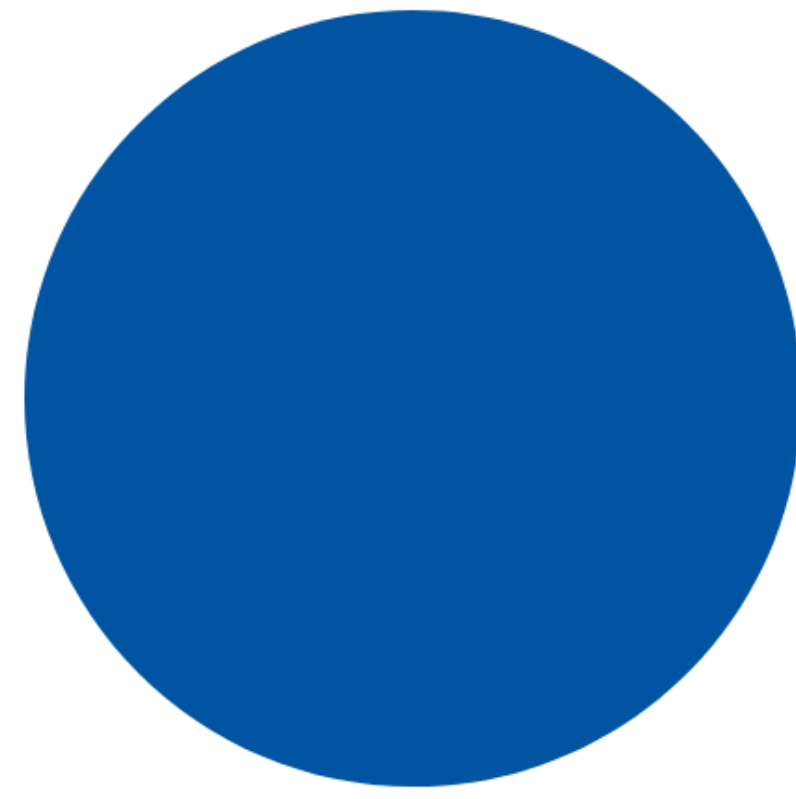


3D View 2



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025



SIGNAGE, PARAPET, TRIM; ORACAL 7500 #006 INTENSE BLUE



EIFS WHITE; SW7006 EXTRA WHITE



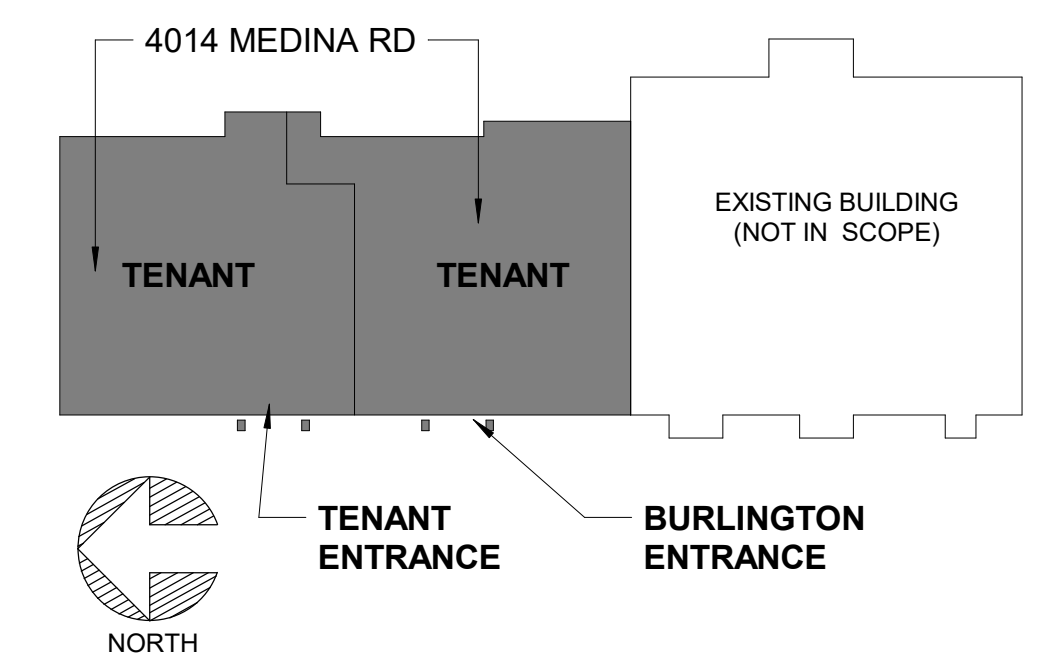
EXTERIOR ELEVATION - FRONT FACADE - TENANT B
1/4" = 1'-0"



EXISTING PHOTO



3D View 3



REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321
SCHEMATIC DESIGN RENDERS | 12.5.2025

FOR LEGAL DESCRIPTIONS SEE SHEET 3 OF 3

FLOOD PLAIN DATA
PARCEL IS IN FLOOD ZONE C (OUTSIDE OF 500 YEAR FLOOD)
PER COUNTY OF SUMMIT UNINCORPORATED AREAS COMMUNITY
PLAN NO. 3907810105 B DATED APRIL 15, 1981

PARCEL ZONING: C-4 (SHOPPING CENTERS)

BUILDING SETBACK

FRONT = 50'
REAR = 25'
SIDE = 50'

ALL BUILDINGS SHOWN MEET THE REQUIRED
SETBACK AND ZONING REQUIREMENTS

SCALE: 1"=100'

SITUATED IN
COPLEY TOWNSHIP
COUNTY OF SUMMIT
STATE OF OHIO
PART OF ORIGINAL LOT 3

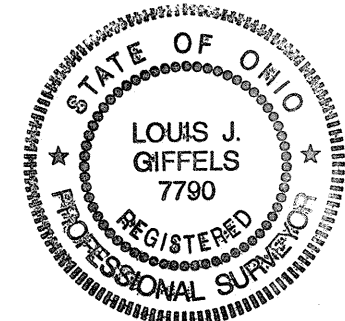
PARCEL "1"	=	0.8357 AC.
+ PARCEL "6"	=	12.8681 AC.
+ PARCEL "2"	=	14.6091 AC.
+ PARCEL "3"	=	12.6763 AC.
+ PARCEL "4"	=	1.4401 AC.
+ PARCEL "5"	=	2.7917 AC.
TOTAL AREA	=	45.2210 AC.

CERTIFICATION

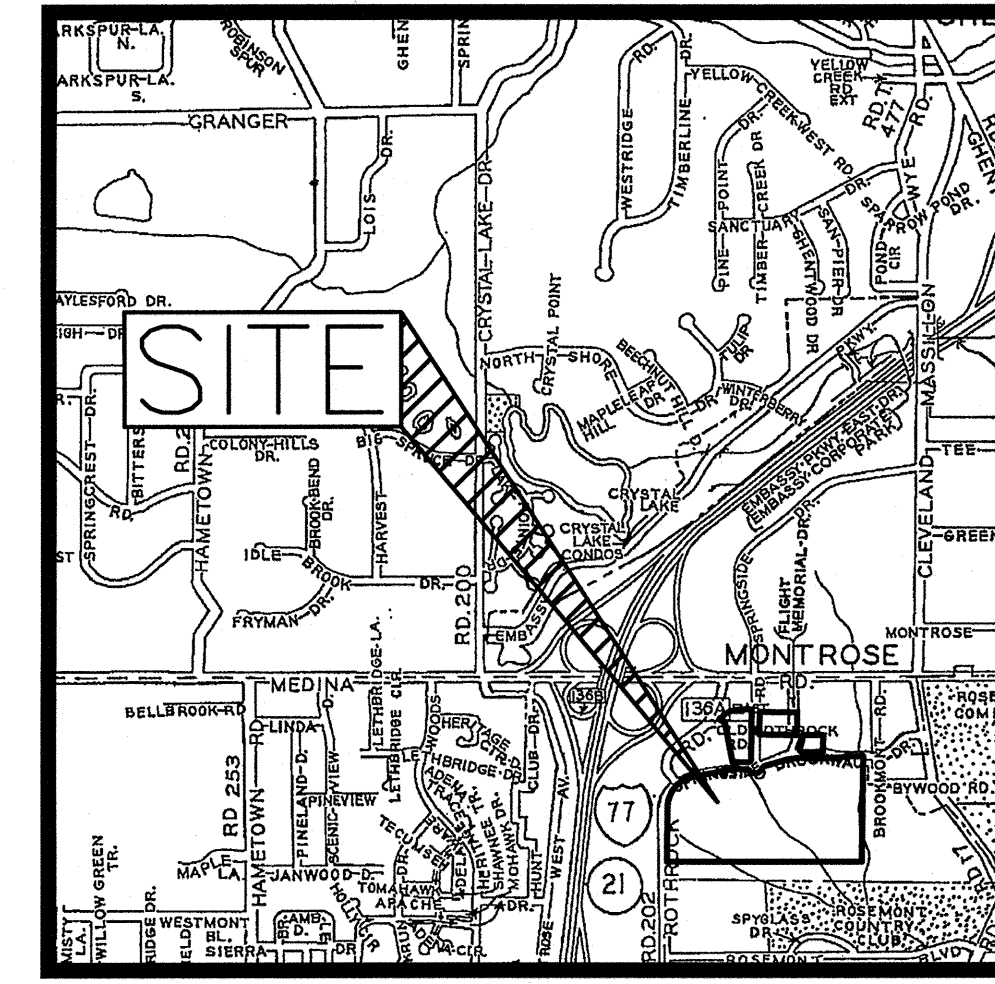
TO: PERA MONTROSE, INC.; CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS,
AND INCLUDES ITEMS 1,2,3,4,6, 7(c), 7(b)(1), 8, 9, 11b, 13, 16 OF TABLE A THEREOF.
THE FIELD WORK WAS COMPLETED ON JULY 9, 2013.

LOUIS J. GIFFELS / REG. NO. 7790 / DATE 7/19/2013



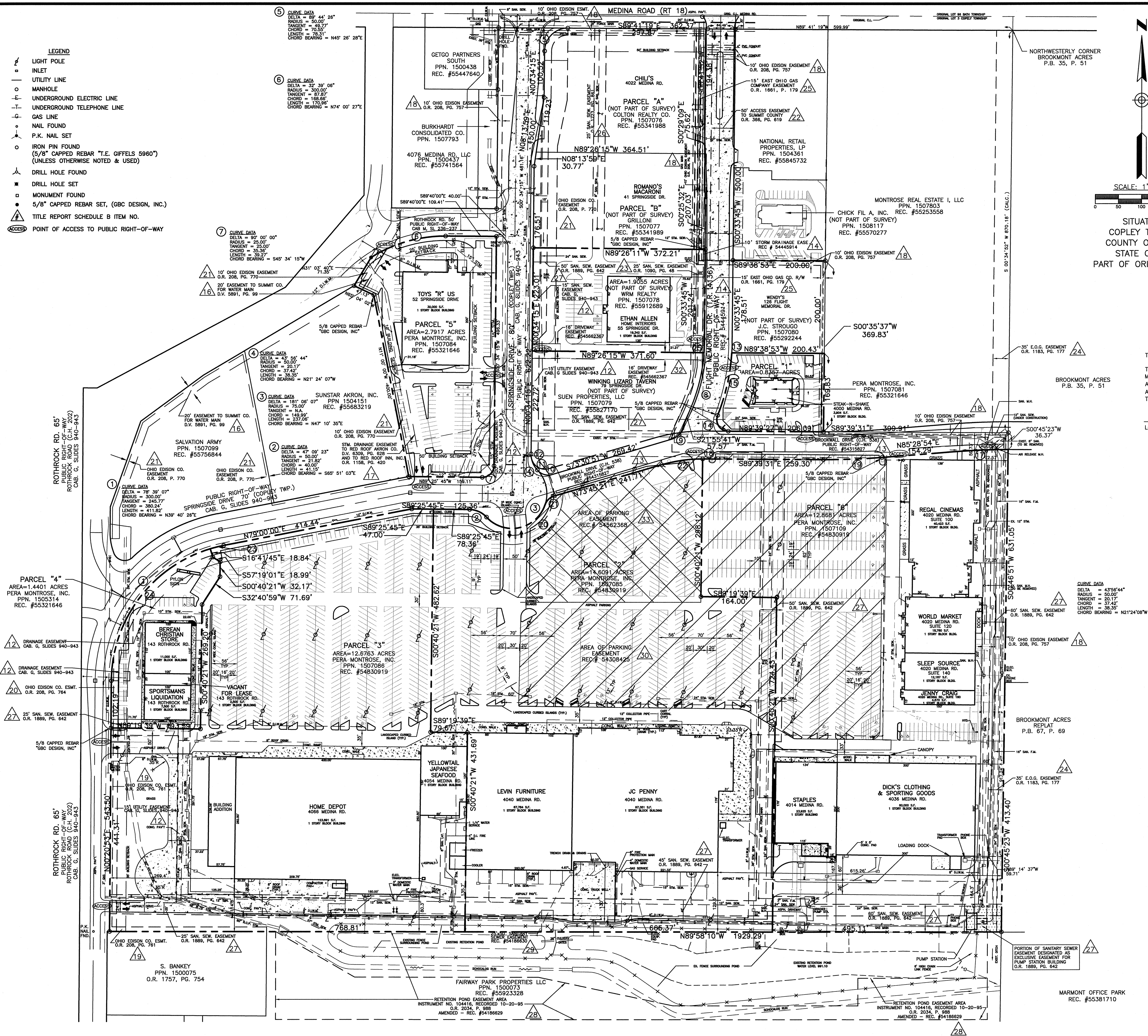
BASIS OF BEARING
THE PLAT OF BROOKMOUNT DRIVE (C.H. 538) PUBLIC RIGHT OF
WAY AS RECORDED IN RECEPTION #54315827 OF THE SUMMIT
COUNTY RECORDS.



LOCATION MAP

SCALE: 1" = 3000'

- LEGEND**
- LIGHT POLE
 - INLET
 - UTILITY LINE
 - MANHOLE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND TELEPHONE LINE
 - GAS LINE
 - NAIL FOUND
 - P.K. NAIL SET
 - IRON PIN FOUND
 - (5/8" CAPPED REBAR "T.E. GIFFELS 5960")
 - (UNLESS OTHERWISE NOTED & USED)
 - DRILL HOLE FOUND
 - DRILL HOLE SET
 - MONUMENT FOUND
 - 5/8" CAPPED REBAR SET, (GBC DESIGN, INC.)
 - TITLE REPORT SCHEDULE B ITEM NO.
 - POINT OF ACCESS TO PUBLIC RIGHT-OF-WAY



EASEMENTS, RESERVATIONS, & RESTRICTIONS

1. EASEMENT, RESERVATIONS AND RESTRICTION AS SHOWN THE PLAT OF DEDICATION FOR SPRINGSIDE DRIVE, AS RECORDED IN PLAT CABINET G, SLIDE 940 OF THE SUMMIT COUNTY RECORDS - SHOWN (EASEMENT RECITAL IS BLANKET-NOT SHOWN) - APPLIES TO SUBJECT PROPERTY (UTILITY EASEMENT AFFECTS PARCELS F, G, H, AND M ONLY) (DRAINAGE EASEMENT AFFECTS PARCEL M ONLY) - ITEM NO. 12.
2. EASEMENT FOR ROAD PURPOSES AS SHOWN ON THE PLAT OF BROOKWALL DRIVE (C.H. 538), AS RECORDED IN RECEPTION #54318827 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL F ONLY) - ITEM NO. 13.
3. EASEMENT FOR ROAD PURPOSES AND 10' STORM EASEMENT AS SHOWN ON THE PLAT OF DEDICATION FOR FLIGHT MEMORIAL DRIVE (T.R. 4136), AS RECORDED IN RECEPTION # 54445914 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C AND F ONLY) - ITEM NO. 14.
23. DECLARATION OF RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 905 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M) - ITEM NO. 15.
4. BOARD OF COMMISSIONERS OF SUMMIT COUNTY WATER SUPPLY FACILITIES EASEMENT, AS RECORDED IN DEED VOLUME 5891, PAGE 99 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 16.
5. RED ROOF AKRON CO. STORM WATER DRAINAGE EASEMENT AS RECORDED IN DEED VOLUME 6309, PAGE 628 OF THE SUMMIT COUNTY RECORDS, RIGHTS THEN ASSIGNED IN DEED VOLUME 1158, PAGE 420 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 17.
7. OHIO EDISON COMPANY 10' EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 757 OF THE SUMMIT COUNTY RECORDS - AMENDMENT RECORDED IN RECEPTION #54288088 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G AND H ONLY) - ITEM NO. 18.
8. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 761 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 19.
9. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 764 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 20.
10. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 770 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 21.
11. COUNTY OF SUMMIT 50' ACCESS EASEMENT AS RECORDED IN OFFICIAL RECORD 366, PAGE 619 OF THE SUMMIT COUNTY RECORDS, SHOWN - APPLIES TO SUBJECT PROPERTY (WITHIN THE LIMITS OF FLIGHT MEMORIAL DRIVE ONLY) - ITEM NO. 22.
13. COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1090, PAGE 48 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 29) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 23.
14. EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1183, PAGE 177 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS G, H, I AND J ONLY) - ITEM NO. 24.
18. EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1861, PAGE 179 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 25.
19. 25' SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO THE COUNTY OF SUMMIT, OHIO AS RECORDED IN OFFICIAL RECORD 723, PAGE 861 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 26.
21. COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1889, PAGE 642 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 18) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 27.
22. EASEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE DEVELOPMENT INC., AS RECORDED IN OFFICIAL RECORD 2034, PAGE 988 OF THE SUMMIT COUNTY RECORDS (AMENDED IN RECEPTION #54186629 OF THE SUMMIT COUNTY RECORDS) - SHOWN - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 28.
27. SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO MONTROSE DEVELOPMENT, INC. AND FAIRWAY PARK PROPERTIES LLC, AS RECORDED IN RECEPTION #54186630 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY - ITEM NO. 29.
30. PARKING EASEMENT FROM MONTROSE DEVELOPMENT INC., TO STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308425 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS F, G, H AND I ONLY) - ITEM NO. 30.
32. UTILITY AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54411125 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 31.
33. COMMON DRIVEWAY EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM AND JACQUELINE MOTSINGER, AS RECORDED IN RECEPTION #54562367 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C AND F) - ITEM NO. 32.
34. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A DEED OF EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND FRISCH'S RESTAURANTS, INC., AS RECORDED IN RECEPTION #54562368 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL G AND H ONLY) - ITEM NO. 33.
35. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A RECIPROCAL EASEMENT AND EXCLUSIVE USE AGREEMENT BETWEEN MS AT MONTROSE, LLC AND JOHN C. STROGO AS RECORDED IN RECEPTION #55292245 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET OVER ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 34.
6. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE CINEMA, INC., AS RECORDED IN OFFICIAL RECORD 1332, PG. 898; MEMORANDUM OF LEASE AS RECORDED IN OFFICIAL RECORD 1232, PG. 903; FIRST AMENDMENT TO LEASE AS RECORDED IN OFFICIAL RECORD 1354, PG. 576; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1242, PG. 767 AND OFFICIAL RECORD 1242, PAGE 773; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1376, PG. 423 AND O.R. 1378, PG. 433; ASSIGNMENTS ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN OFFICIAL RECORD 1557, PG. 420. ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #551721181; MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #54172162, AGREEMENT AS RECORDED IN RECEPTION #55172183, AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55261202, MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #55196010, AGREEMENT AS RECORDED IN RECEPTION #55257621, AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55281201, ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #55261196, GROUND LESSOR'S CONSENT AS RECORDED IN RECEPTION #55287481, GROUND LEASE ESTOPPEL AS RECORDED IN RECEPTION #55261200 AND RE-RECORDED IN RECEPTION #55264313, GROUND LESSORS CONSENT AS RECORDED IN RECEPTION #55287461 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 36.
15. MEMORANDUM OF LEASE WITH USE RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND BUILDERS SQUARE, INC., AS RECORDED IN OFFICIAL RECORD 1183, PAGE 430 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENTS IN RECEPTION #54303146, ASSIGNMENTS IN RECEPTION #54303147, FIRST AMENDMENT AS RECORDED IN RECEPTION #54312062 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 37.
16. ITEM NO. 38 IS NOT A MATTER OF SURVEY.
16. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND BINKER RESTAURANT CORPORATION, AS RECORDED IN OFFICIAL RECORD 1492, PG. 666 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #54987122 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 39.
17. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND ROMANO'S MACARONI GRILL, INC., AS RECORDED IN OFFICIAL RECORD 1492, PG. 672 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 40.
20. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND DICK'S CLOTHING AND SPORTING GOODS, INC., AS RECORDED IN OFFICIAL RECORD 1790, PG. 836 OF THE SUMMIT COUNTY RECORDS - SUBJECT TO AMENDMENTS AND AGREEMENTS RECORDED IN DEED VOLUME 2086, PAGE 888, RECEPTION #54354290, RECEPTION #54354291, RECEPTION #54397277, AND RECEPTION #55142200 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (LEASE OVER EXISTING DICK'S CLOTHING & SPORTING GOODS BUILDING - AFFECTS PARCELS G AND H ONLY) - ITEM NO. 41.
24. STORM DRAIN CONNECTION AGREEMENT BY AND BETWEEN MONTROSE DEVELOPMENT, INC., TOYS-R-US-OHIO, INC., AND RED ROOF INNS, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 916 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (LOCATION UNDEFINED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 42.
25. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PG. 928 OF THE SUMMIT COUNTY RECORDS AND A COMMENCEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC. AS RECORDED IN RECEPTION #54015356 OF THE SUMMIT COUNTY RECORDS - ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #55292333 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 43.
26. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND STAPLES INC., AS RECORDED IN RECEPTION #54080607 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - SHOPPING CENTER USES ARE RESTRICTED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 44.
28. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT INC. AND COST PLUS, INC. AS RECORDED IN RECEPTION #54282180 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY- ITEM NO. 45.
29. TERMS, COVENANTS AND RESTRICTIONS CONTAINED IN A SHORT FORM LEASE BETWEEN MONTROSE DEVELOPMENT INC., AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308424 AND THEN RE-RECORDED IN RECEPTION #54410525 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL I ONLY) - ITEM NO. 46 & 48.
31. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM MOTSINGER, AS RECORDED IN RECEPTION #54377422 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 47.

**EASEMENTS HAVE BEEN PLOTTED FROM CHICAGO TITLE INSURANCE COMPANY TITLE NO: 555130144 DATED MAY 28, 2013.

SHOPPING CENTER PARKING TALLY
PARCELS "1 - 6"

REGULAR SPACES = 2158
HANDICAP SPACES = 49
TOTAL SPACES = 2207

PARKING MEETS REQUIREMENTS PER COPLEY TOWNSHIP ZONING APPROVED SITE PLAN.

CURVE DATA

8 CURVE DATA

DELTA = 18'00'32"
RADIUS = 371.68'
TANGENT = 58.90'
CHORD = 116.34'
LENGTH = 116.82'
CHORD BEARING = S12°55'25"W

9 CURVE DATA

DELTA = 51'35'08"
RADIUS = 34.89'
TANGENT = 16.86'
CHORD = 30.36'
LENGTH = 31.41'
CHORD BEARING = S47°43'15"W

10 CURVE DATA

DELTA = 64°41'16"
RADIUS = 30.00'
TANGENT = 19.00'
CHORD = 32.00'
LENGTH = 33.87'
CHORD BEARING = N7°40'33"W

11 CURVE DATA

DELTA = 01°03'47"
RADIUS = 75.00'
TANGENT = 0.70'
CHORD = 1.39'
LENGTH = 1.39'
CHORD BEARING = N42°50'36"W

12 CURVE DATA

DELTA = 43°56'44"
RADIUS = 50.00'
TANGENT = 20.17'
CHORD = 37.42'
LENGTH = 38.35'
CHORD BEARING = N21°24'08"W

13 CURVE DATA

DELTA = 25°11'16"
RADIUS = 431.68'
TANGENT = 10.76'
CHORD = 21.50'
LENGTH = 21.51'
CHORD BEARING = N01°59'23"E

14 CURVE DATA

DELTA = 111°35'15"
RADIUS = 25.00'
TANGENT = 14.92'
TANGENT = 36.78'
CHORD = 41.35'
LENGTH = 48.69'
CHORD BEARING = N33°51'56"W

15 CURVE DATA

DELTA = 18°30'41"
RADIUS = 431.68'
TANGENT = 70.35'
CHORD = 138.86'
LENGTH = 139.47'
CHORD BEARING = N12°40'21"E

16 CURVE DATA

DELTA = 21°21'55"
RADIUS = 431.68'
TANGENT = 81.43'
CHORD = 160.04'
LENGTH = 160.97'
CHORD BEARING = S11°14'43"W

17 CURVE DATA

DELTA = 4°45'24"
RADIUS = 1438.25'
TANGENT = 59.73'
CHORD = 119.37'
LENGTH = 119.40'
CHORD BEARING = N87°51'36"E

18 CURVE DATA

DELTA = 0°19'42"
RADIUS = 317.50'
TANGENT = 0.91'
CHORD = 1.82'
LENGTH = 1.82'
CHORD BEARING = S89°49'23"E

19 CURVE DATA

DELTA = 4°51'35"
RADIUS = 1498.25'
TANGENT = 63.58'
CHORD = 127.04'
LENGTH = 127.08'
CHORD BEARING = N87°54'41"E

20 CURVE DATA

DELTA = 119°07'17"
RADIUS = 75.00'
TANGENT = 127.63'
CHORD = 129.33'
LENGTH = 155.93'
CHORD BEARING = N78°09'59"E

21 CURVE DATA

DELTA = 55°09'00"
RADIUS = 30.00'
TANGENT = 15.67'
CHORD = 27.77'
LENGTH = 28.88'
CHORD BEARING = N46°10'51"E

22 CURVE DATA

DELTA = 16°15'25"
RADIUS = 317.15'
TANGENT = 45.30'
CHORD = 89.69'
LENGTH = 89.99'
CHORD BEARING = N81°53'04"E

23 CURVE DATA

DELTA = 5°41'45"
RADIUS = 300.00'
TANGENT = 14.92'
CHORD = 28.81'
LENGTH = 29.82'
CHORD BEARING = N76°09'07"E

24 CURVE DATA

DELTA = 72°57'22"
RADIUS = 300.00'
TANGENT = 221.81'
CHORD = 356.71'
LENGTH = 382.00'
CHORD BEARING = N36°49'34"E

25 CURVE DATA

DELTA = 3°21'24"
RADIUS = 371.68'
TANGENT = 10.89'
CHORD = 21.77'
LENGTH = 21.77'
CHORD BEARING = N02°14'27"E

REVISIONS

GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320-1123
Phone 330-886-0228

PERA MONTROSE, INC.
C/O CBRE, INC.
200 PUBLIC SQUARE - SUITE 2500
CLEVELAND, OHIO 44114

MARKET SQUARE AT MONTROSE
COPLEY, OHIO
ALTA/ACSM LAND TITLE SURVEY
MAY, 2013 UPDATE

DRAWN BY:
J.A.B.

DATE:
MAY, 2013

PROJECT NO.
21042B6

DRAWING NO.

2 OF 3

Parcel 6 - 12.8681 Acres
PPN 1507109

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in the Plat Book 35, Page 51 of the Summit County Records; Thence S 00o 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to point;
Thence S 00o 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning for the parcel of land herein described;
Thence S 00o 46' 51" W, continuing along the westerly line of said Brookmont Acres and also along the westerly Brookmont Acres Replat as recorded in the Plat Book 67, Page 69, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00o 45' 23" W, continuing along westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar found;
Thence N 89o 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 00o 40' 21" E a distance of 724.43 feet to a P.K. nail to be set;
Thence N 89o 19' 39" W a distance of 164.00 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 298.12 feet to a P.K. nail to be set;
Thence along southerly line of Brookwall Drive (C.H. 538) as recorded in Rec. # 54315827 of the Summit County Records, along the arc of a circle curving to the right, having a central angle of 00o 19' 42", a radius of 317.15 feet, a tangent of 0.91 feet, a chord of 1.82 feet, a chord bearing of S 89o 49' 23" E, and an arc length of 1.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89o 39' 31" E, continuing along southerly line of said Brookwall Drive, a distance of 259.30 feet to a P.K. nail to be set at a point of curvature;
Thence continuing along southerly line of said Brookwall Drive, along the arc of a circle curving to the left, having a central angle of 04o 51' 35", a radius of 1498.25 feet, a tangent of 63.58 feet, a chord of 127.04 feet, a chord bearing of N 87o 51' 36" E, and an arc length of 127.08 feet to a P.K. nail to be set;
Thence N 85o 28' 54" E, continuing along the southerly line of Brookwall Drive (S.H. 536) as recorded in Rec. # 54315827 of Summit County Records, a distance of 154.29 to a P.K. nail to be set at a point of curvature;
Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right, having a central angle of 04o 45' 24", a radius of 1438.25 feet, a tangent of 59.73 feet, a chord of 119.37 feet, a chord bearing of N 87o 51' 36" E, and an arc length of 119.40 feet to a point, which is the True Place of Beginning and containing 12.8681 Acres of land, more or less, as surveyed in August, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 2 - 14.6091 Acres
PPN 1507085

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also being the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 89 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;
Thence, continuing N 89o 58' 10" W, a distance of 665.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 00o 40' 21" E a distance of 431.69 feet to a P.K. nail to be set;
Thence N 89o 19' 39" W a distance of 79.67 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 482.62 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89o 25' 45" E, along the southerly line of Springside Drive (70' wide) as recorded in Cabinet G, slides 940-943 of Summit County Records, a distance of 78.36 feet to a 5/8" capped rebar found at a point of curvature;
Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the right having a central angle of 47o 09' 25", a radius of 50.00 feet, a tangent of 21.82 feet, a chord of 40.00 feet, a chord bearing S 65o 51' 03" E, and an arc length of 41.15 feet to a 5/8" capped rebar found at a point of reverse curvature;
Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the left having a central angle of 119o 07' 17", a radius of 75.00 feet, a tangent of 127.43 feet, a chord of 129.33 feet, a chord bearing N 78o 09' 59" E, and an arc length of 155.93 feet to a 5/8" capped rebar found;
Thence along the southerly line of Brookwall Drive(C.H. 538), as recorded in Rec. # 54315827 of the Summit County records, along the arc of a circle curving to the right having a central angle of 55o 09' 00", a radius of 30.00 feet, a tangent of 15.67 feet, a chord of 27.77 feet, a chord bearing N 46o 10' 51" E, and an arc length of 28.88 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 73o 45' 21" E, continuing along the southerly line of said Brookwall Drive, a distance of 241.71 feet to a P.K. nail to be set at a point of curvature;
Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right having a central angle of 16o 15' 25", a radius of 317.15 feet, a tangent of 45.30 feet, a chord of 89.69 feet, a chord bearing N 81o 55' 04" E, and an arc length of 89.99 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 298.12 feet to a P.K. nail to be set;
Thence S 89o 19' 39" W a distance of 164.00 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 724.43 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point, which is the True Place of Beginning and containing 14.6091 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 3 - 12.6763 Acres
PPN 1507086

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found;
Thence N 89 58' 10" W a distance of 1160.48 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;
Thence, continuing N 89o 58' 10" W, a distance of 768.81 feet to a 5/8" capped rebar found;
Thence N 00o 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89o 19' 39" W a distance of 193.59 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 269.20 feet to a P.K. nail to be set;
Thence N 32o 40' 59" E a distance of 71.69 feet to a P.K. nail to be set;
Thence N 00o 40' 21" E a distance of 32.17 feet to a P.K. nail to be set;
Thence N 57o 19' 01" W a distance of 18.99 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 16o 41' 45" W a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence along the southerly line of Springside Drive (70' wide), as recorded in Cabinet G, Slides 940-943 of the Summit County Records, along the arc of a circle curving to the right having a central angle of 05o 41' 45", a radius of 300.00 feet, a chord of 29.81 feet, a chord bearing N 76o 09' 07" E, and an arc length of 29.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence N 79° 00' 00" E, continuing along the southerly line of said Springside Drive, a distance of 114.44 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 89° 25' 45" E, continuing along the southerly line of said Springside Drive, a distance of 47.00 feet to a point;
Thence S 00o 40' 21" W a distance of 482.62 feet to a P.K. nail to be set;
Thence S 89o 19' 39" W a distance of 79.67 feet to a Drill Hole to be set;
Thence S 00o 40' 21" W a distance of 431.69 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning and containing 12.6763 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

Parcel 4 - 1.4401 Acres
PPN 1505314

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found;
Thence N 89 58' 10" W a distance of 1929.29 feet to a capped rebar found;
Thence N 00 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described;
Thence N 00o 20' 53" E, continuing along the easterly line of said Rothrock, a distance of 102.19 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point of curvature;
Thence continuing along the easterly line of said Rothrock Road, along the arc of a circle curving to the right having a central angle of 72o 57' 22", a radius of 300.00 feet, a tangent of 221.81 feet, a chord of 356.71 feet, a chord bearing N 36o 49' 34" E, and an arc length of 382.00 feet to a point;
Thence S 16o 41' 45" E a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set;
Thence S 57o 19' 01" E a distance of 18.99 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 32.17 feet to a P.K. nail to be set;
Thence S 32o 40' 59" W a distance of 71.69 feet to a P.K. nail to be set;
Thence S 00o 40' 21" W a distance of 269.20 feet to a P.K. nail to be set;
Thence N 89o 19' 39" W a distance of 193.59 feet to a point, which is the True Place of Beginning and containing 1.4401 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

***TOGETHER WITH THE EASEMENT AS FILED FOR RECORD IN VOLUME 2034, PAGE 908 AND AMENDED IN INSTRUMENT NO. 54186629; RECIPROCAL EASEMENT AND OPERATION AGREEMENT FILED FOR RECORD IN VOLUME 1202, PAGE 311 AND VOLUME 1232, PAGE 656 OF SUMMIT COUNTY RECORDS.

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at the centerline intersection of Springside Drive (80' wide) as recorded in Cabinet G, Slides 940-943 in the Summit County Records and Medina Road (S.R. 18)(witnessed by a drill hole found S 00 34' 15" W at a distance of 30.00 feet); Thence S 00° 34' 15" W, along the centerline of said Springside Drive, a distance of 481.16 feet to a point;
Thence N 89 25' 45" W a distance of 40.00 feet to a 5/8" capped rebar found at the True Place of Beginning for the parcel of land herein described;
Thence S 00o 34' 15" W, along the westerly line of said Springside Drive, a distance of 496.33 feet to a 5/8" capped rebar found at a point of curvature;
Thence along the northerly line of said Springside Drive, along the arc of a circle curving to the right, having a central angle of 90o 00' 00", a radius of 25.00 feet, a tangent of 25.00 feet, a chord of 35.36 feet, a chord bearing of S 45o 34' 15" W, and an arc length of 39.27 feet to a 5/8" capped rebar found at a point of tangency;
Thence N 89o 25' 45" W, continuing along the northerly line of said Springside Drive (70' wide) a distance of 159.11 feet to a 5/8" capped rebar found;
Thence N 11o 00' 00" W a distance of 400.00 feet to a 5/8" capped rebar found;
Thence N 65o 04' 02" W a distance of 47.13 feet to a 5/8" capped rebar found;
Thence N 31o 03' 40" E, a distance of 71.35 feet to a 5/8" capped rebar found;
Thence along the arc of a circle curving to the right, having a central angle of 32o 39' 06", a radius of 300.00 feet, a tangent of 87.87 feet, a chord of 168.66 feet, a chord bearing of N 74o 00' 27" E, and a arc length of 170.96 feet to a 5/8" capped rebar found at a point of tangency;
Thence S 89o 40' 00" E, a distance of 109.41 feet to a point which is the True Place of Beginning and containing 2.7917 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc.,

COPLEY TOWNSHIP SITE PLAN REVIEW MAJOR SITE PLAN/VARIANCE 4014 MEDINA ROAD STAFF REPORT

January 5, 2026

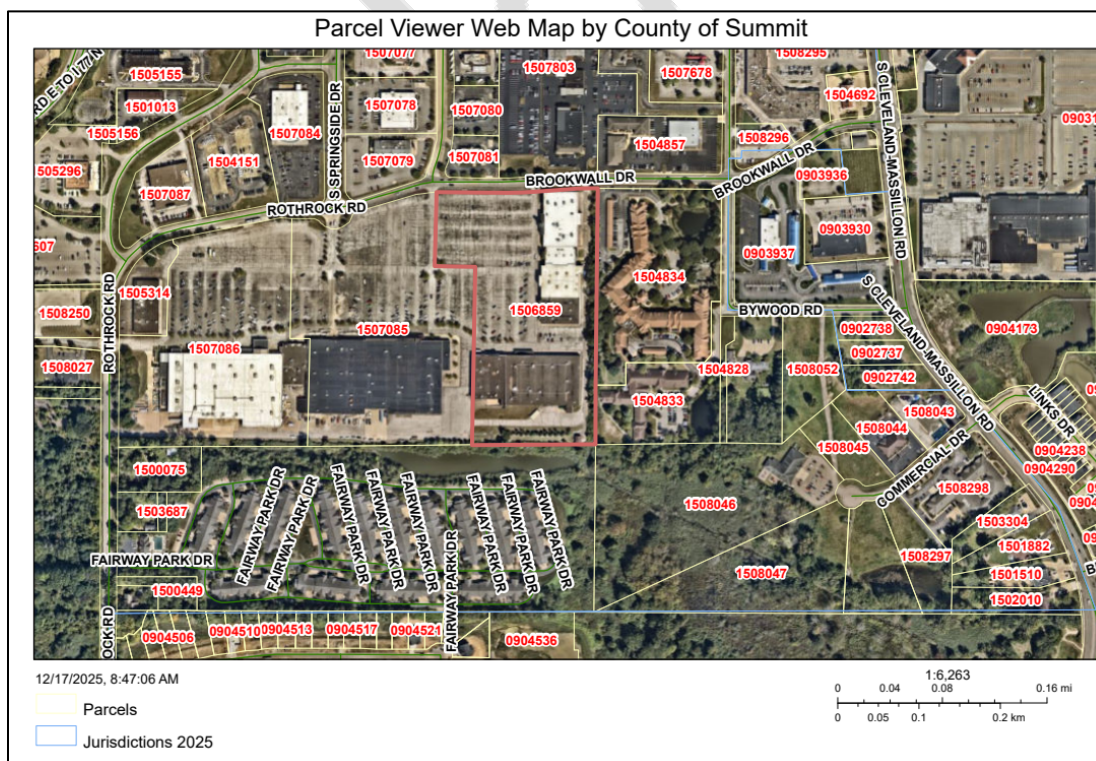


PROJECT: Former Regal Cinema Redevelopment PPN: 1506859	APPLICATION TYPE: Major Site Plan/Variance
LANDOWNER	MSA Montrose LP
APPLICANTS	MSA Montrose LP, c/o Hampton Properties, Inc-Jacob Berger Colliers Engineering-Corey LeBlanc Richard Korris
COMPANY PERFORMING WORK REQUESTED	Colliers Engineering
INVESTMENT	\$5,000,000
APPLICATION SUMMARY	<i>Applicants, on behalf of MSA Montrose LP, are requesting site plan and variance approval to redevelop the former Regal Cinema tenant space.</i>
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Section 4.01-C-GR Commercial General Retail Section 13.01 F-Site Plan Review
GENERAL LOCATION	The parcel is in the Market Square at Montrose plaza on the south side of Brookwall Drive and east of Flight Memorial Drive.
LAND AREA	13 acres (Tenant Building 152' x 300')
ZONING	Commercial General Retail (C-GR)
ARCHITECTURAL REVIEW BOARD	January 5, 2026
BOARD OF ZONING APPEALS	January 14, 2026
EXTERNAL AGENCY REVIEW	Summit County Engineer

	Summit County Department of Sanitary Sewer Services Summit County Planning Summit Soil & Water Conservation District
STAFF COMMENTS	Redevelopment of single tenant building unit to 2 tenant building unit Variance Required: Front Yard Setback Brookwall Encroachment within an existing Dept. of Sanitary Sewer Easement-Agreement in progress Approval conditioned upon satisfying all jurisdictional agency requirements.

PROPERTY LOCATION

SITE	ZONING	LAND USE
North	C-GR	Commercial
South	High Density	Residential
East	C-GR	Commercial
West	C-GR	Commercial



PROJECT DESCRIPTION

Applicants, Jacob Berger and Corey LeBlanc, on behalf of MSA Montrose LP, are requesting site plan and variance approval to redevelop the former Regal Cinema tenant space. The building area is 152' in length and 300' in width.

Narrative: Per the Applicant

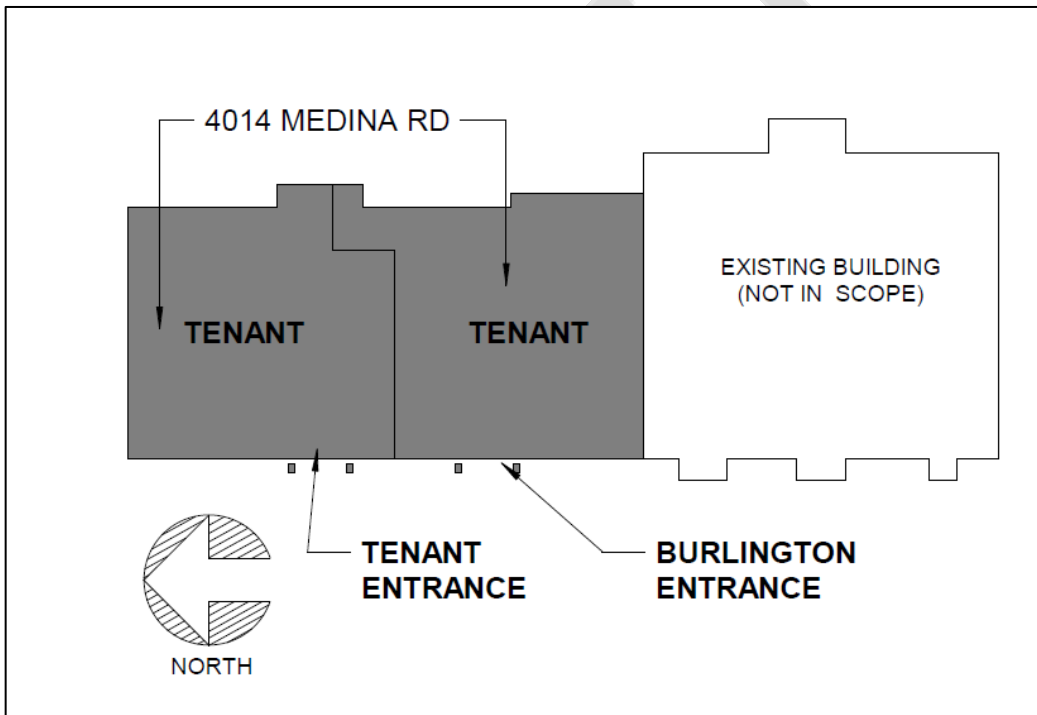
- Proposed scope of work is to include the partial demolition of approximately 10,000sf of the southernmost portion of the existing theatre space, and the front, West wall of the existing space.
- Temporary shoring to be provided for the existing structure to remain, until a retrofit system is installed. New construction of approximately a 12,000sf space, between the remaining theatre area and the existing World Market space to the South. This construction to be located in the location of the demolished 10,000sf portion of the space, with this new construction to protrude out further than the existing to align with the front façade of the existing building adjacent (World Market), and a further projection off the rear than the existing wall represented.
- The entire front façade of the building is to be expanded approximately 6' to the West, for an additional +/- 1,300sf of leasable space. This will all align with the existing World Market front façade as well.
- Plumbing, electrical, and fire protections services are to be split for two (2) separate commercial tenants.
- West site work is to include the building addition and modifications to the sidewalk and grass area, however no large scope site work to be proposed.
- East site work to include a portion of the 12,000sf new construction, new concrete loading pad, concrete egress ramp, and trash compactor.

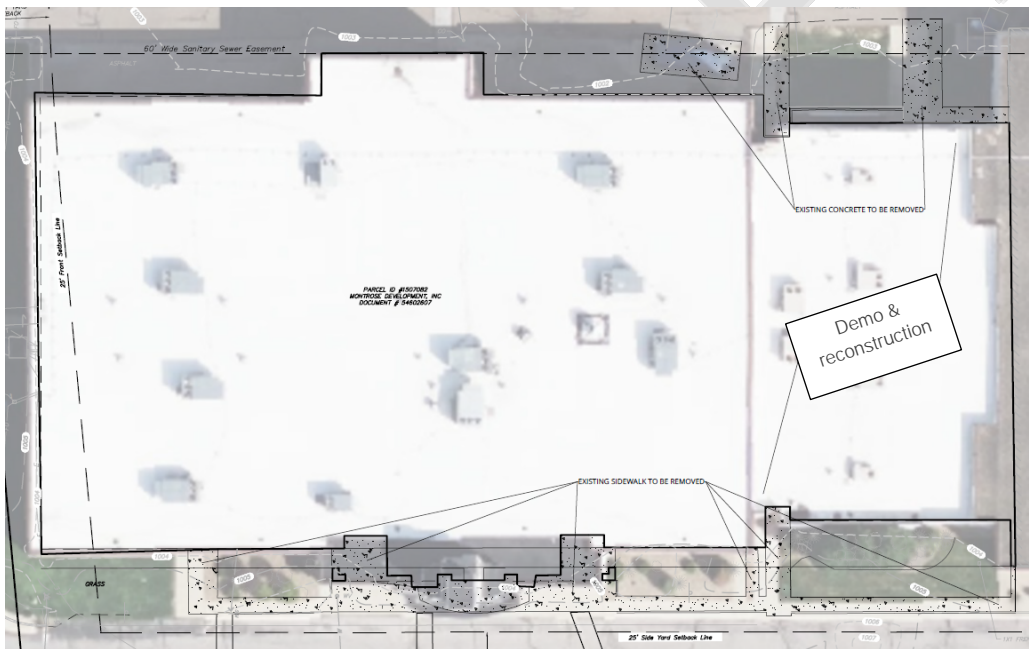
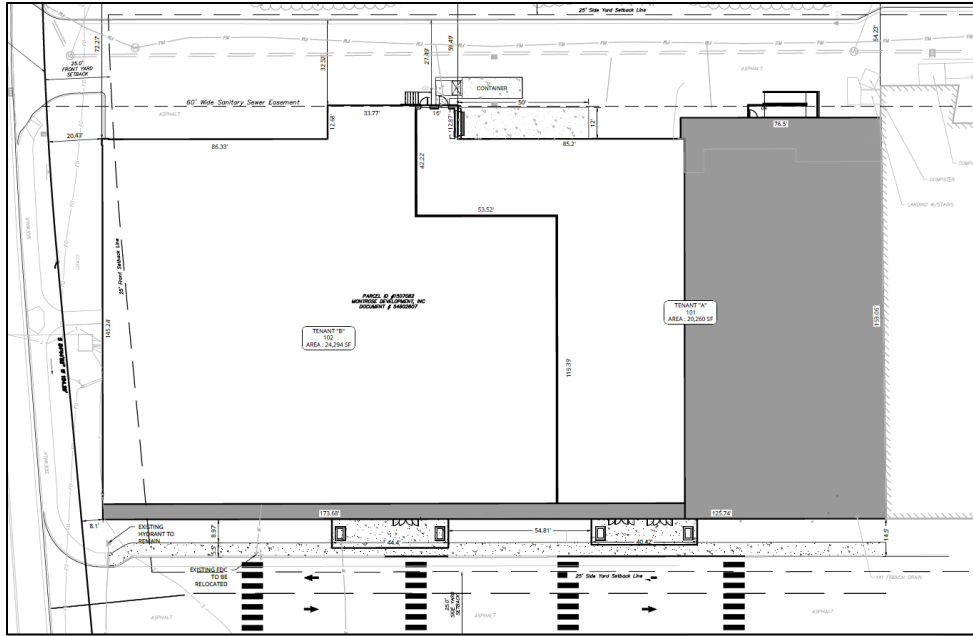
The redevelopment will result in a two tenant spaces.

- Tenant B-24,294 square feet in overall area
- Tenant A-20,260 square feet in overall area

Overall updates are inclusive of:

- Full Interior Renovation
- New front masonry wall to match adjacent building
- New Tenant Entrances
- New sidewalk extension and crosswalks
- Addition of bicycle parking spaces
- Demo and reconstruction of partial Tenant suite A





ELEVATIONS

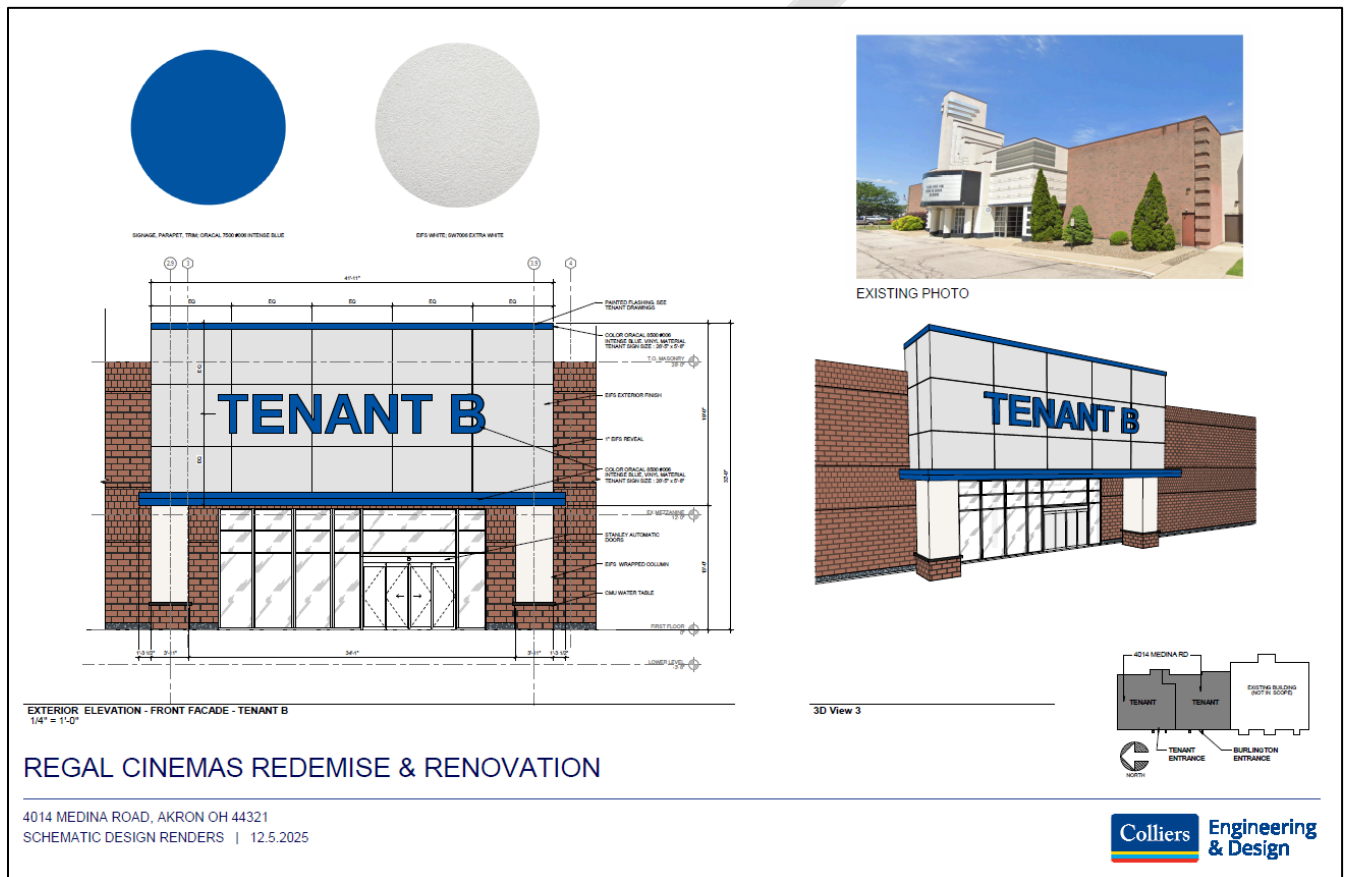
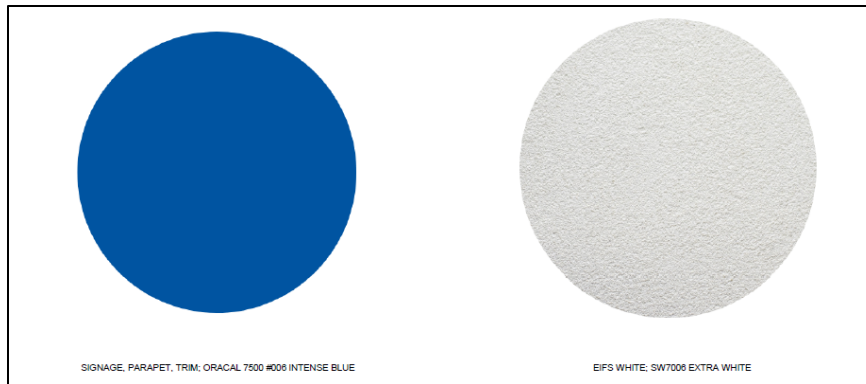
Tenant A Façade Improvements include:

- Illuminated fiber cement clad panels (Nichina) in custom Burlington Red. Panel are 1' 6", 6' wide
- Autosliding doors clear, anodized aluminum
- Aluminum composite (alucobond) Eyebrow canopy with under canopy lighting
- EIFS in pearly white, wrapped column (EIFS above the water table)



Tenant B Façade Improvements include:

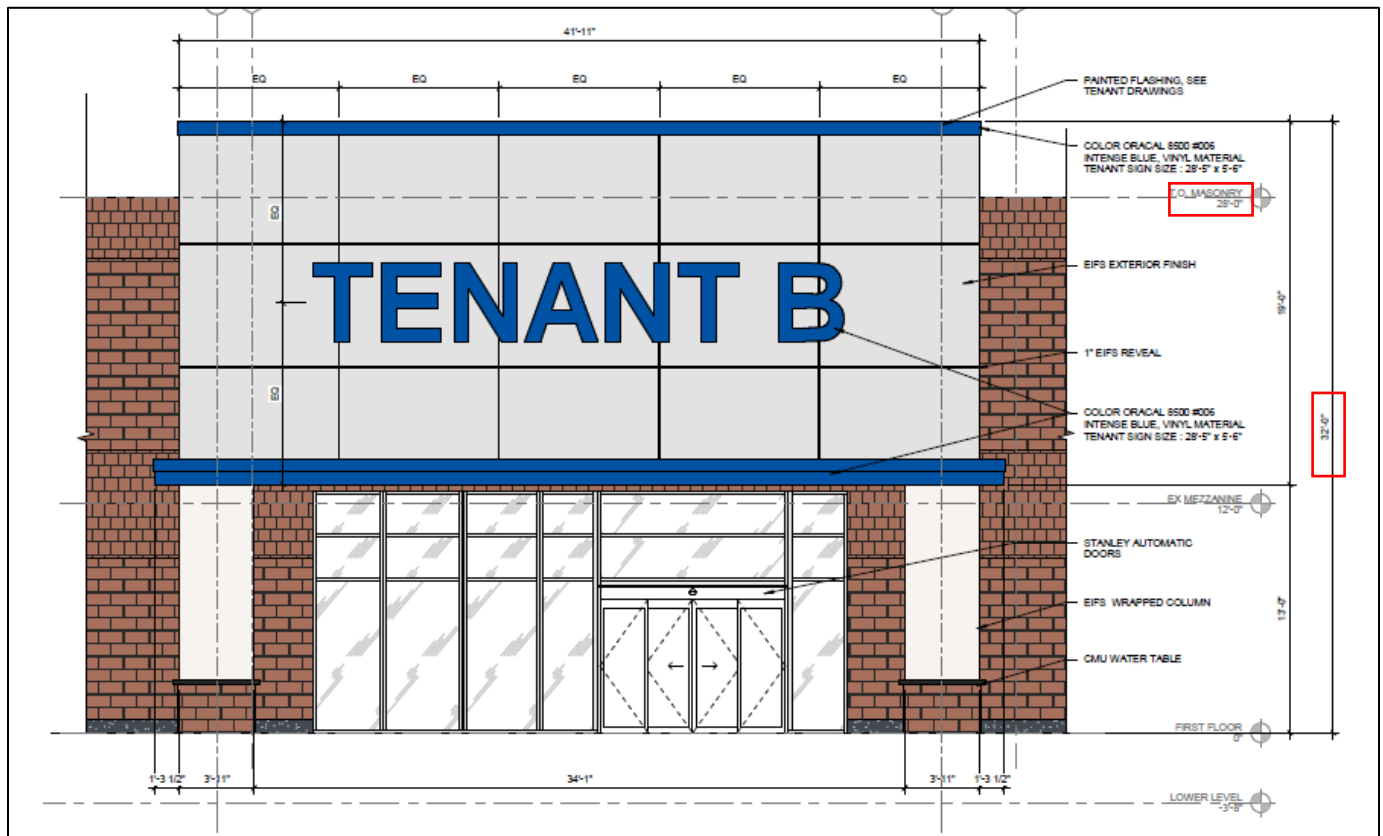
- Painted flashing in intense blue
- EIFS exterior in extra white
- Stanley automatic door
- EIFS wrapped column (EIFS above the water table)



DEVELOPMENT STANDARDS-Variance Required

ARTICLE 4., SECTION 4.01

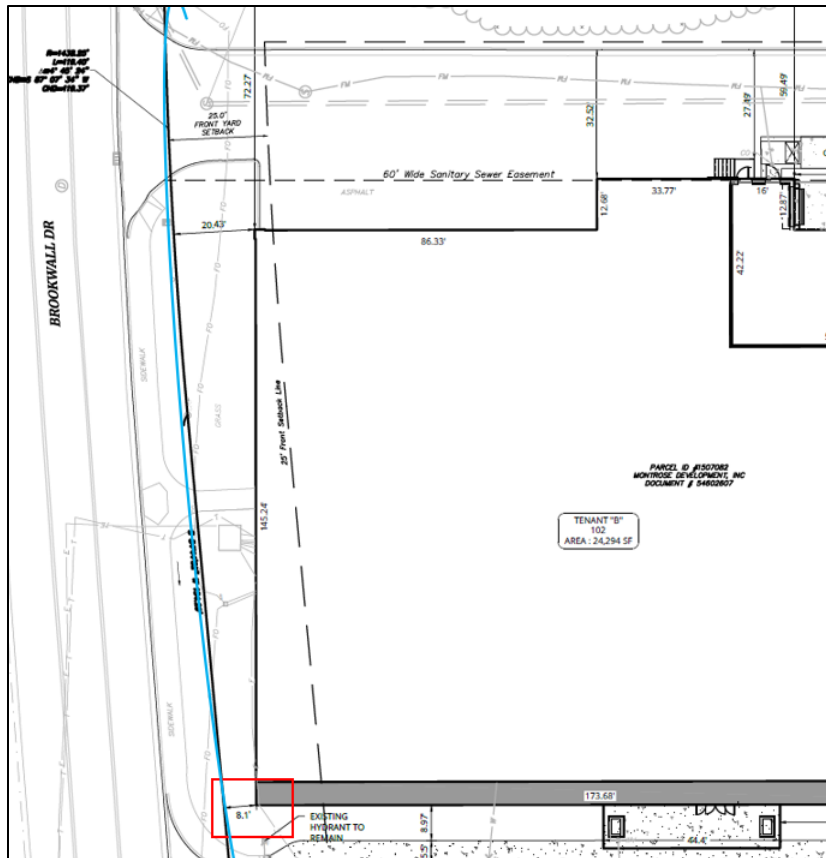
- 35' Maximum Building Height
 - Masonry Height: 28'
 - Parapet Wall: 32' for Tenant A & Tenant B



- 50' Minimum Rear Yard Setback (SOUTH)
 - 750' +
- 25' Minimum Side Yard Setback
 - WEST: 59'
 - EAST: 400' +
- 25' Minimum Front Yard Setback (NORTH)
 - 8.1' Non-conforming

Variance Rationale: The front yard setback is pre-existing and created due to the expanded right of way for the installation of Brookwall Drive. This variance will correct the non-conforming setback.

The cinema building was constructed in 1988. The 60' Brookwall right-of-way was established in or around 2000.

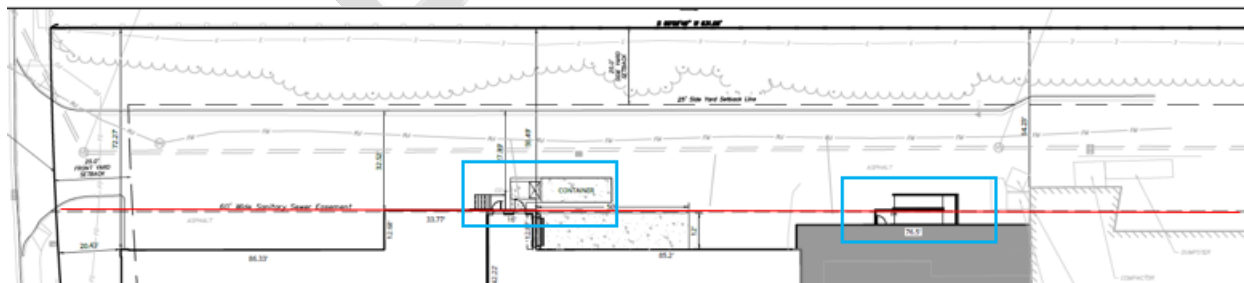


ENCROACHMENT-Department of Sanitary Sewer Services

There is a 60' easement located along the western side yard property line.

The following items will project into the easement:

- Rear building concrete ingress/egress (not public) for both tenant suites
- Concrete compactor pad
- Loading Dock



DEPARTMENT & AGENCY COMMENTS

Copley Township Architectural Review Board	Review pending
Copley Township Fire Department	No objections (corrective action for lighting and parking lot improvements supported)
Copley Township Service Department	No objections (corrective action for lighting and parking lot improvements supported)
Copley Township Police	No objections (corrective action for lighting and parking lot improvements supported)
Summit County Engineers Office	Provide a comparison of existing and proposed impervious areas. The overall increase in impervious area does not appear to be significant, so no stormwater detention will be required. In addition to the impervious area increase, we will need to see the total disturbed area identified on the plans.
Summit County Dept. of Sanitary Sewer Systems (DSSS)	Access Easement Agreement required & in progress
Summit County Planning	No objection Bicycle parking is not shown on plan
Summit County Soil & Water Conservation District	Provide a comparison of existing and proposed impervious areas.
Copley Township Department of Community & Economic Development	Valued redevelopment to central business district Add bicycle parking Property owner is in agreement to improvement full lot within the Market Square at Montrose Plaza. Property owner is in agreement to remove and replace within conformity a new Market Square at Montrose Business Center Sign.

SUGGESTED MOTION FOR CONSIDERATION

The **Copley Township Architectural Review Board** motions to recommend (approval/approval with conditions/deny) the applicants Major Site Plan application inclusive of a reduction in the required front yard setback.

Staff Comment: Conditioned upon agency review and approval and variance.

The **Copley Township Board of Zoning Appeals** motions to (approval/approval with conditions/deny) the applicants variance for a 17' reduction in the required 25' front yard setback for a front yard setback resulting in 8' along Brookwall Drive.