

Copley Township Architectural Review Board

Monday, January 5, 2026

6:00 PM

Attendees may participate in person, 1540 S. Cleveland Massillon Road. Participants may view the preservation online at <https://www.copley.oh.us/419/Board-Commission-Meeting-Videos>

1. Meeting Agenda

Documents:

[AGENDA.PDF](#)

2. Major Site Plan & Variance: 1660 Collier Road (Kiehl Construction)

Documents:

[KIEHL CONSTRUCTION PRELIMINARY PLANS 12-03-2025.PDF](#)  
[STAFF REPORT 1660 COLLIER RD.PDF](#)

3. Major Site Plan: 1315 S Cleveland Massillon Road (Graves Lumber)

Documents:

[SITE\\_PLAN\\_20241022\\_1\\_.PDF](#)  
[PHASED DEVELOPMENT\\_SITE\\_PLAN\\_20241022\\_1\\_.PDF](#)  
[49D3825391E5AD7A140528777B34E8CB\\_STORAGE\\_SHED\\_S1.1.PDF](#)  
[92BB7E4EBF15C2A74D82715FD4D40F6D\\_STORAGE\\_SHED\\_S2.0.PDF](#)  
[234109C5352D328CF5ECBCA16E90FC07\\_STORAGE\\_SHED\\_S1.0.PDF](#)  
[651837E357B6A10CD6D54A2EE7013FB2\\_STORAGE\\_SHED\\_S0.0.PDF](#)  
[STAFF REPORT 1315 S CLEVE MASS RD-GRAVES LUMBER-MAJOR SITE PLAN APPLICATION 1 2026 PROJECT.PDF](#)

4. Major Site Plan And Variance: 1330 S Cleveland Massillon Road (Autobahn)

Documents:

[AUTOBAHN SITE ARCH DRAWINGS FOR SITE PLAN REVIEW 12-05-2025.PDF](#)  
[AUTOBAHN LEGAL DESCRIPTION.PDF](#)  
[\\_AUTOBAHN\\_FOR\\_BZA\\_VARIANCES\\_12-12-25.PDF](#)  
[STAFF REPORT 1330 S CLEVELAND MASSILLON RD.PDF](#)

5. Major Site Plan And Variance: 4014 Medina Road (Former Regal Cinema Redevelopment)

Documents:

[4014\\_MEDINA\\_ROAD\\_P\\_Z\\_REVIEW\\_-\\_ARCHITECTURAL\\_DRAWINGS.PDF](#)  
[4014\\_MEDINA\\_ROAD\\_P\\_Z\\_REVIEW\\_-\\_CIVIL\\_SITE\\_DRAWINGS.PDF](#)  
[E6D09F2EF72592037AEADDF20952FC2E\\_4014\\_MEDINA\\_ROAD\\_P\\_Z\\_REVIEW\\_-\\_ARCHITECTURAL\\_DRAWINGS.PDF](#)  
[MARKET\\_SQUARE\\_2013\\_ALTA\\_SURVEY-SIGNED\\_2013-07-19.PDF](#)  
[STAFF REPORT 4014 MEDINA RD.PDF](#)





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**Board of Trustees**

Scott D. Dressler  
Bruce D. Koellner  
James M. Schulte

**Administrator**

Janice L. Marshall

**Fiscal Officer**

Roy Speer

**Fire Department**

Chris Bower, Chief  
330.666.6464

**Police Department**

Michael Mier, Chief  
330.666.6464

**Service & Development**

Greg Tracy, Director  
330.666.0365

330-666-0108

Shawna Gfroerer, MPA

Zoning & Zoning  
Inspector

Jeff Newman

Code Enforcement  
Officer

I. OPEN

II. INTRODUCTION OF MEMBERS

III. REVIEW MINUTES

- August 4, 2025
- December 1, 2025

IV. NEW BUSINESS

- a. Case #: ARB202601**  
Applicant: Jeremy Simmons  
On Behalf of: Graves Lumber Company  
Landowners: Graves Lumber Co/Buy Rite Co/33/30 Corp Ltd/Buy Rite Lumber  
Property Address: 1315 S Cleveland Massillon Rd  
Property Location: Parcel 1508656  
Zoning District: Industrial  
Proposal: Major Site Plan-New Unenclosed Lumber Shed
- b. Case #: ARB202602/VAR202604**  
Applicant: Jared T Kiehl  
On Behalf of: Kiehl Construction  
Landowners: 1660 Collier Rd LLC  
Property Address: 1660 Collier Rd  
Property Location: Parcel 1505169  
Zoning District: Industrial  
Proposal: Major Site Plan-Commercial Addition/Variance Required
- c. Case #: ARB202603/VAR202601**  
Applicant: David Smith  
On Behalf of: Autobahn Service Center  
Landowners: Copley Holdings LLC  
Property Address: 1330 S Cleveland Massillon Rd  
Property Location: Parcel 1508677  
Zoning District: Industrial  
Proposal: Major Site Plan-Addition/Variance Required



**Copley Township Architectural Review Board  
January 5, 2026**

**CONTINUED PAGE 2**

**Board of Trustees**

Scott D. Dressler  
Bruce D. Koellner  
James M. Schulte

**Administrator**

Janice L. Marshall

**Fiscal Officer**

Linda J. Peiffer

**Fire Department**

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**Community &  
Economic Development**

330.666.0108

Director

Shawna Gfroerer, MPA  
Zoning & Zoning  
Inspector

Jeff Newman  
Code Enforcement  
Officer

d. **Case #:** **ARB202604/VAR202602**  
**Applicant:** MSA Montrose LP, c/o Hampton Properties, Inc  
**On Behalf of:** MSA Montrose  
**Landowners:** MSA Montrose LP  
**Property Address:** 4014 Medina Rd  
**Property Location:** Parcel 1507109  
**Zoning District:** Commercial General Retail  
**Proposal:** Major Site Plan-Redevelopment (former Regal Cinemas Building)/Variance Required

e. **Ongoing review of Site Plan Proposals as requested:**

- Pigeon Creek MUCD
- Swan Lake Phases V & VI
- Rothrock MUCD

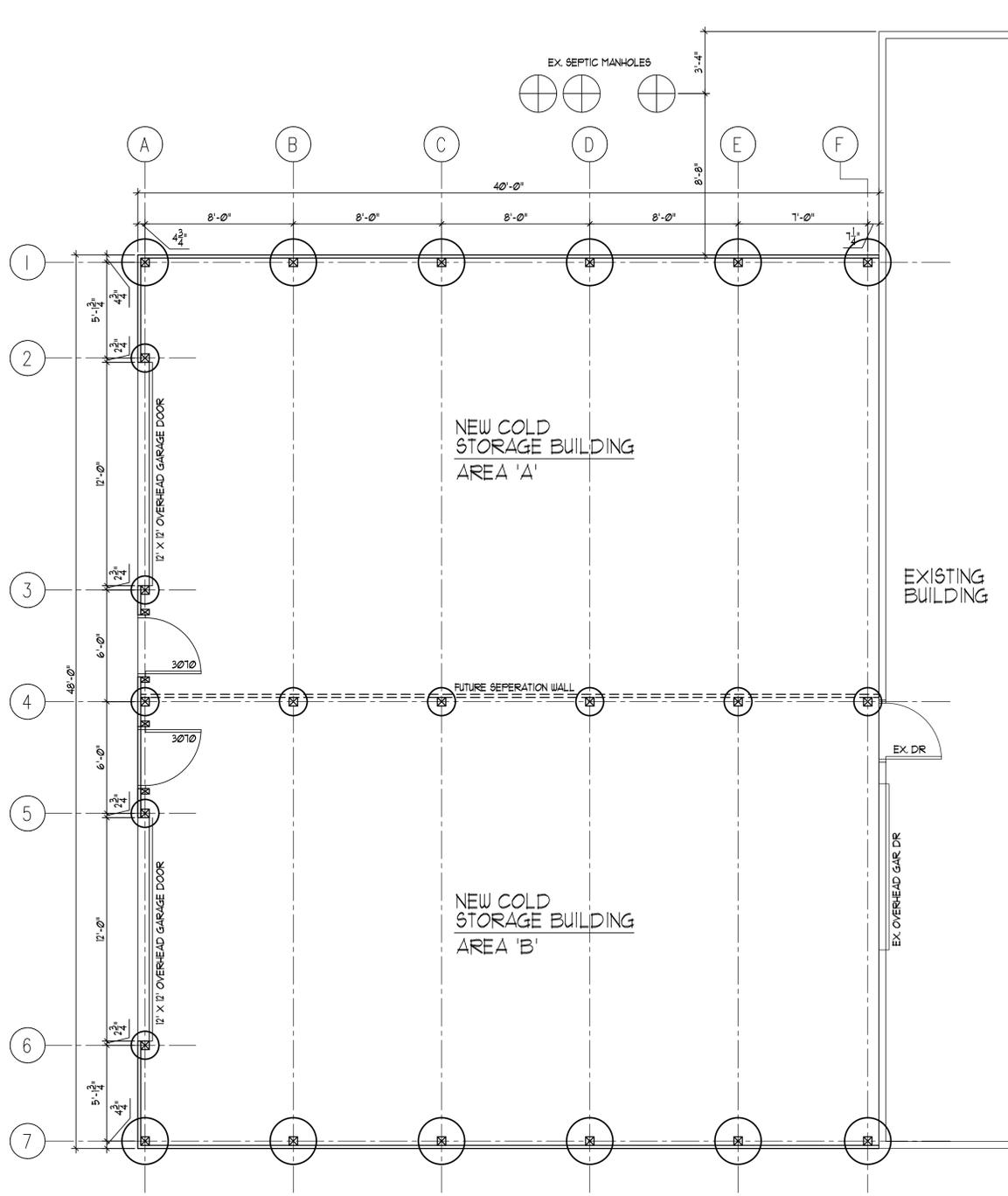
V. **BUSINESS FROM THE DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT**

- Professional Development-APA Zoning Practice
- Design Guidelines-Draft Document
- Tree Board Meeting: February 2, 2026 5:00 PM

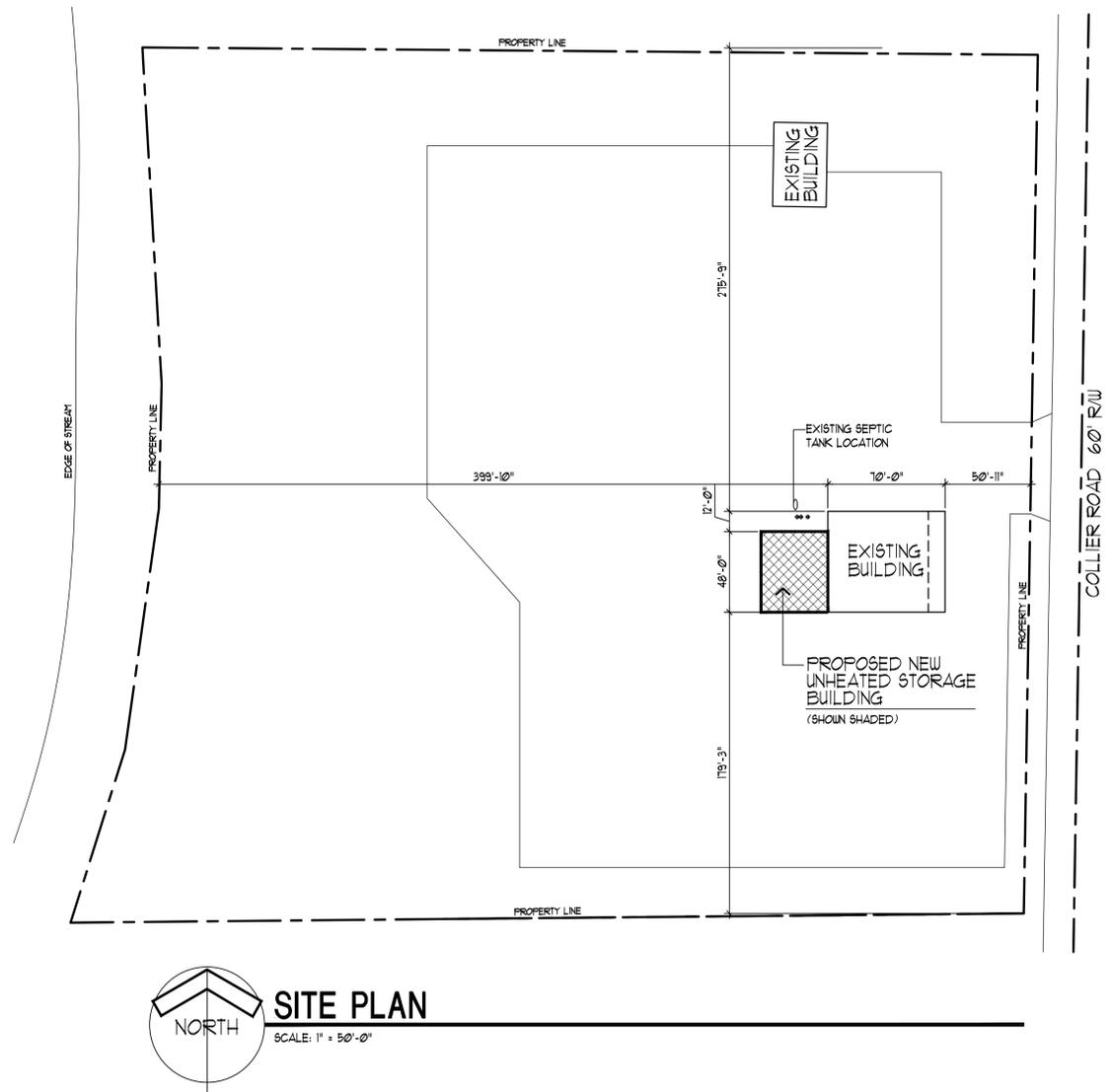
VI. **BUSINESS FROM THE FLOOR**

VI. **NEXT MEETING:** February 2, 2026

VII. **ADJOURNMENT**



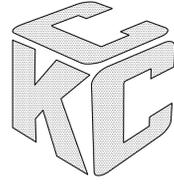
**PRELIMINARY FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 NORTH

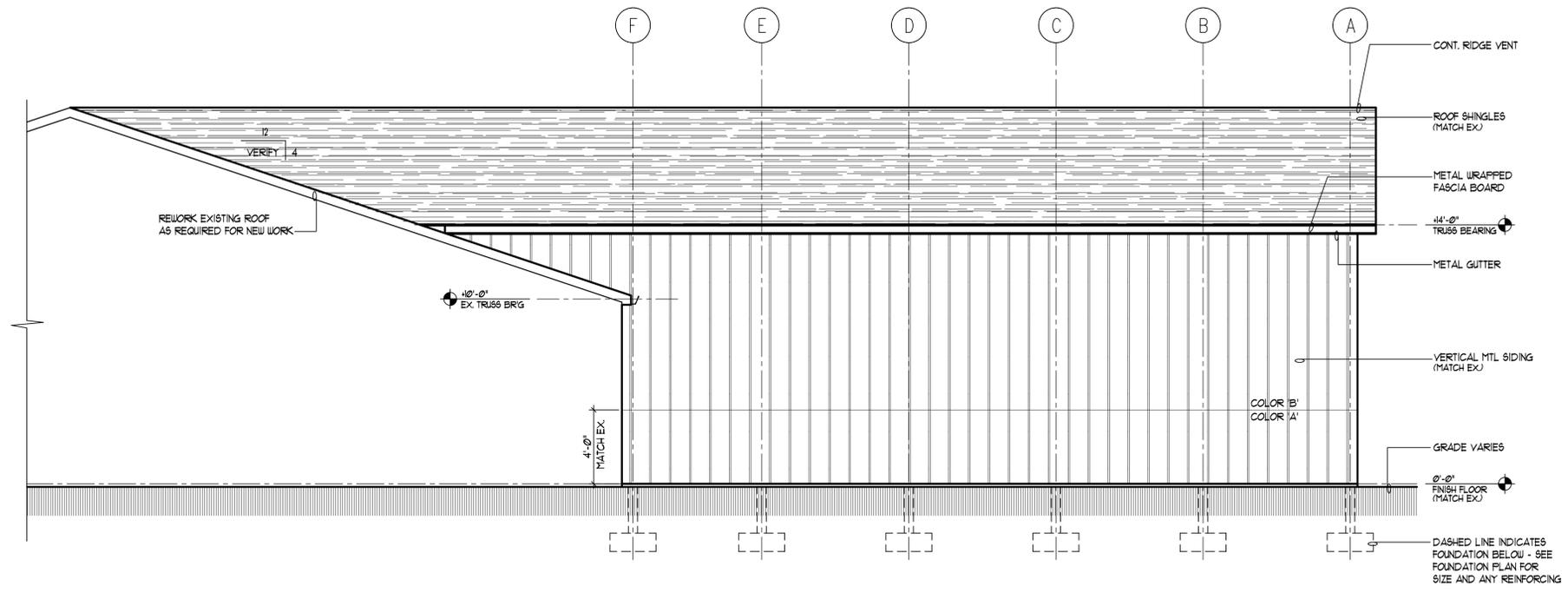


**SITE PLAN**  
 SCALE: 1" = 50'-0"  
 NORTH

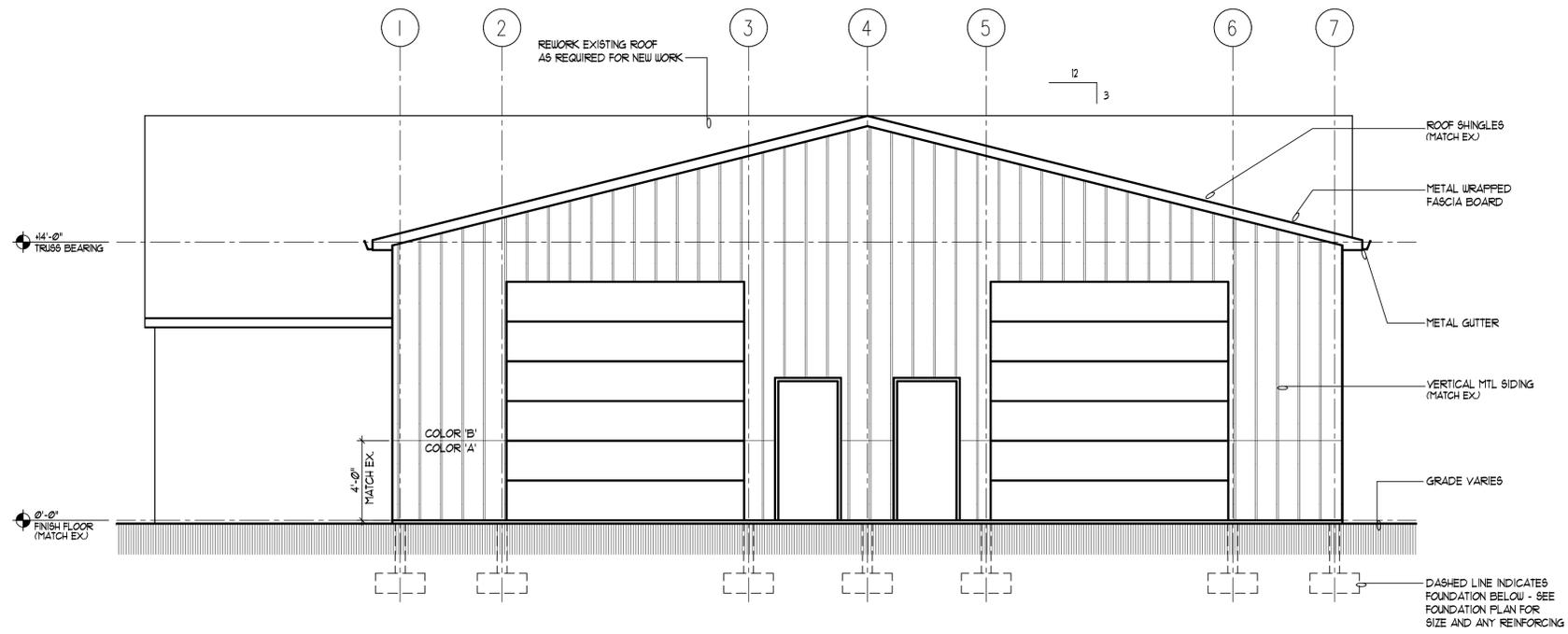
**PROPOSED COLD STORAGE BLD'G ADD'N**  
 KIEHL CONSTRUCTION  
 1660 COLLIER ROAD / AKRON, OHIO

**KRUMROY-COZAD CONSTRUCTION CORPORATION**  
 376 W EXCHANGE ST. • AKRON, OHIO 44302 • PHONE: 330.576.4199 • FAX: 330.576.9891

REVISIONS	
	
	12-03-2025
	<b>A101</b>



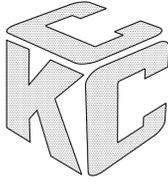
**1 PRELIMINARY EXTERIOR 'NORTH' ELEVATION**  
 SCALE: 1/4"=1'-0"  
 A102

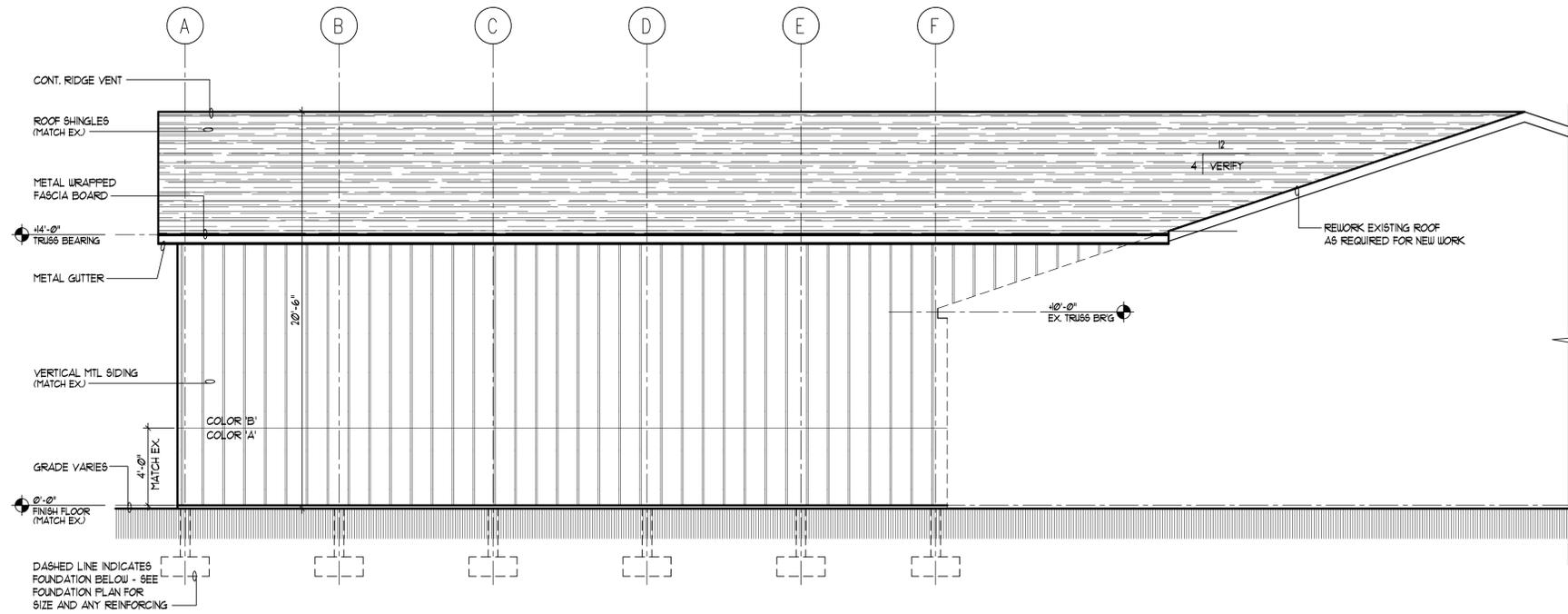


**2 PRELIMINARY EXTERIOR 'WEST' ELEVATION**  
 SCALE: 1/4"=1'-0"  
 A102

**PROPOSED COLD STORAGE BLD'G ADD'N**  
 KIEHL CONSTRUCTION  
 1660 COLLIER ROAD / AKRON, OHIO

**KRUMROY-COZAD CONSTRUCTION CORPORATION**  
 376 W EXCHANGE ST. • AKRON, OHIO 44302 • PHONE: 330.376.4199 • FAX: 330.376.9891

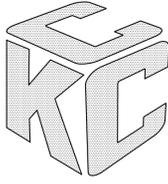
REVISIONS	
	
	12-03-2025
	A102



1 PRELIMINARY EXTERIOR 'SOUTH' ELEVATION  
 A103 SCALE: 1/4"=1'-0"

PROPOSED COLD  
 STORAGE BLD'G ADD'N  
 KIEHL CONSTRUCTION  
 1660 COLLIER ROAD / AKRON, OHIO

**KRUMROY-COZAD**  
 CONSTRUCTION CORPORATION  
 376 W EXCHANGE ST. • AKRON, OHIO 44302 • PHONE: 330.576.4199 • FAX: 330.576.9891

REVISIONS	
	
	12-03-2025
	A103

COPLEY TOWNSHIP  
 SITE PLAN REVIEW  
 MAJOR SITE PLAN/VARIANCE  
 1660 COLLIER ROAD  
 STAFF REPORT



January 5, 2026

<b>PROJECT: Kiehl Construction</b> <b>PPN: 1505169</b>	<b>APPLICATION TYPE: Major Site Plan/Variance</b>
LANDOWNER	1660 Collier Road LLC
APPLICANT	Jared T Kiehl
COMPANY PERFORMING WORK REQUESTED	Krumroy-Cozad
INVESTMENT	\$35,000
APPLICATION SUMMARY	Applicant, Jared Kiehl, on behalf of Kiehl Construction, is requesting site plan and variance approval to construct a commercial building addition within an identified floodplain.
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Section 5.01-Industrial District Section 15.07-Non-conforming structures or Uses in the Riparian Setback Section 13.01 F-Site Plan Review
GENERAL LOCATION	The parcel is located on the west side of Collier Road, south of Wright Road and north of Knox Blvd.
LAND AREA	6 acres
ZONING	Industrial (I)
ARCHITECTURAL REVIEW BOARD	January 5, 2026
BOARD OF ZONING APPEALS	January 14, 2026

EXTERNAL AGENCY REVIEW	Summit County Engineer Summit County Floodplain Administrator Summit Soil & Water Conservation District
STAFF COMMENTS	Construction proposed atop of existing impervious surface Approval conditioned upon satisfying all jurisdictional agency requirements.

**PROPERTY LOCATION**

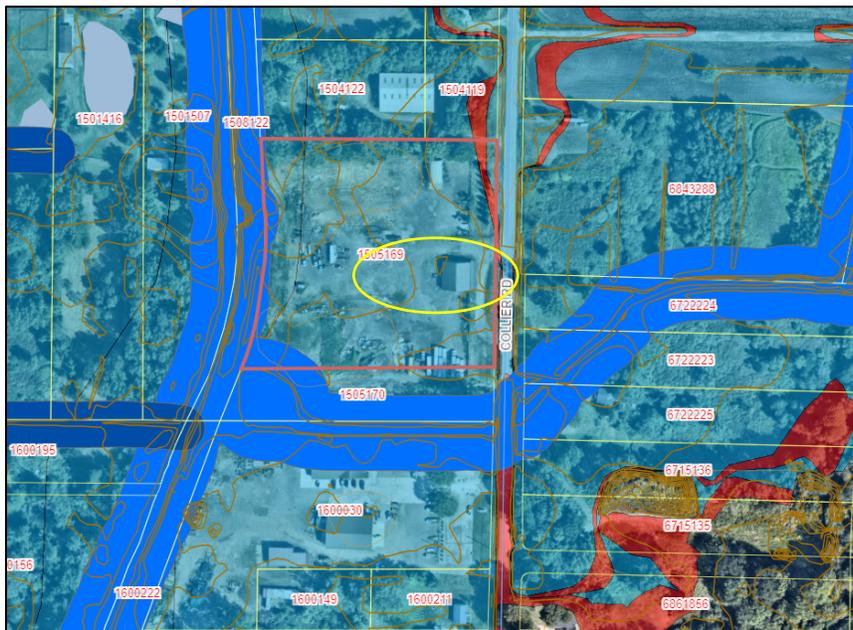
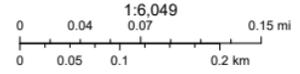
SITE	ZONING	LAND USE
North	R-O/C	Warehouse
South	I	Industrial
East	U-1 City of Akron	Residential
West	R-O/C	Vacant (Railbed)

# Parcel Viewer Web Map by County of Summit



12/16/2025, 2:12:09 PM

- Parcels
- Jurisdictions 2025

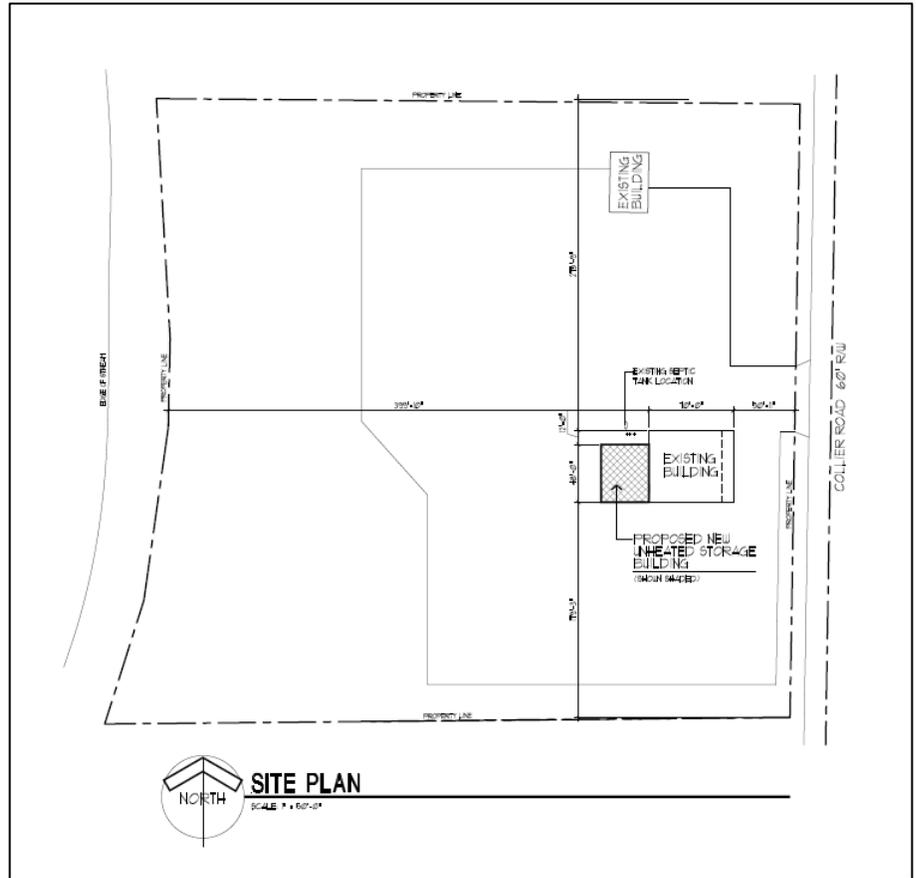


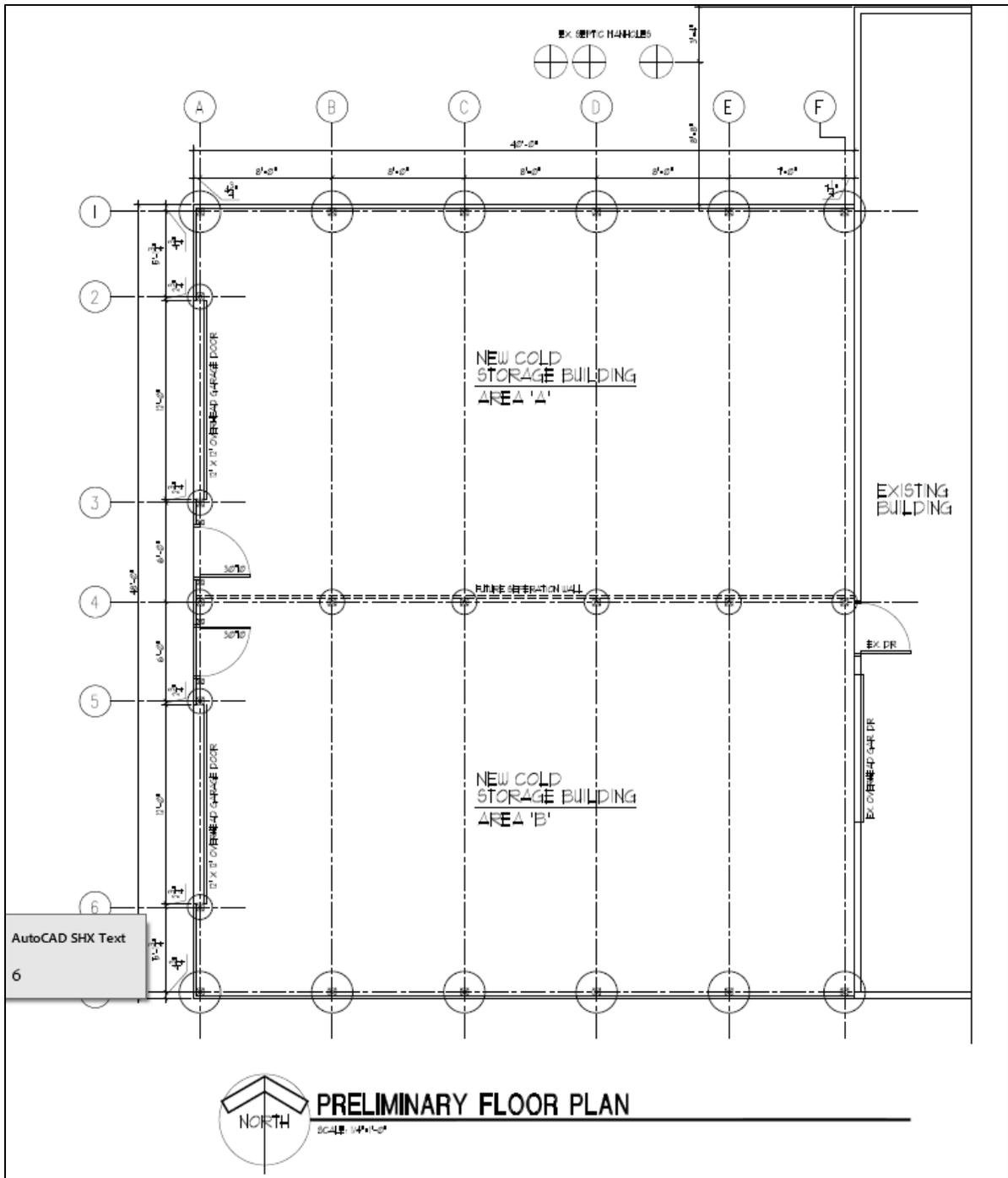
## PROJECT DESCRIPTION

Applicant, Jared Kiehl, on behalf of Kiehl Construction is requesting site plan and variance approval to construct a commercial building addition within an identified floodplain.

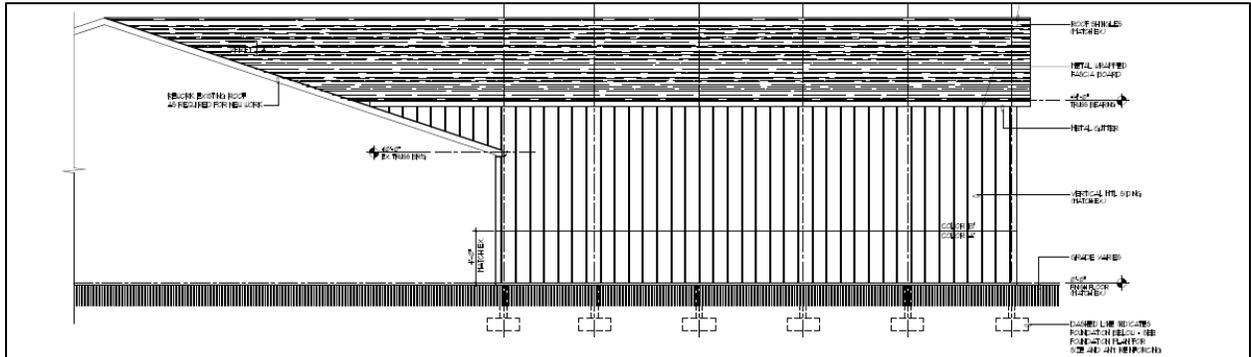
The addition is 1920 square feet in overall area (40' x 48'). The addition will be utilized as cold storage.

The structure is comprised of roof shingles and metal siding to match the existing building.

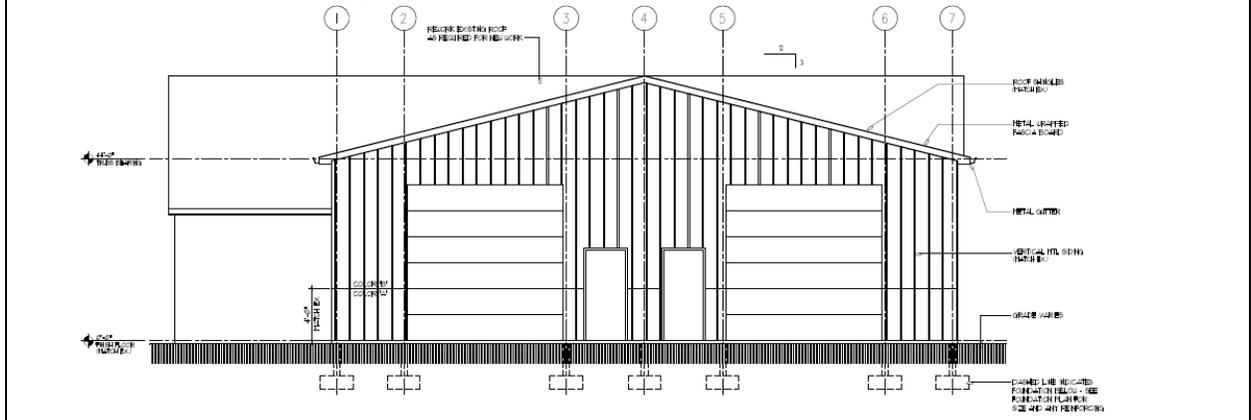




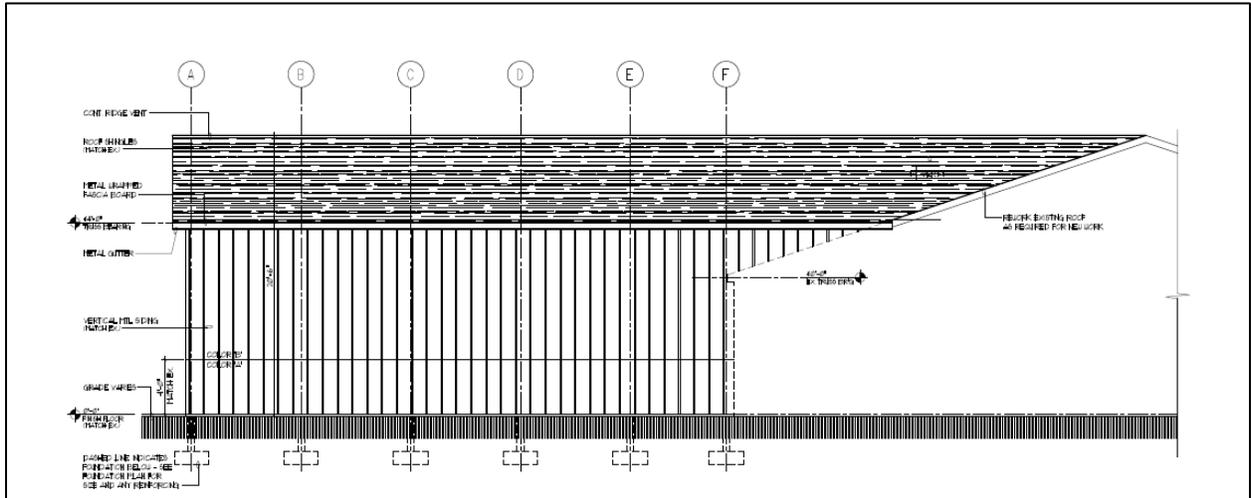
# ELEVATIONS



1 PRELIMINARY EXTERIOR 'NORTH' ELEVATION  
SCALE: 1/4" = 1'-0"



2 PRELIMINARY EXTERIOR 'WEST' ELEVATION  
SCALE: 1/4" = 1'-0"



3 PRELIMINARY EXTERIOR 'SOUTH' ELEVATION  
SCALE: 1/4" = 1'-0"

**ARTICLE 5-SECTION 5.01 D.**

**DEVELOPMENT STANDARDS**

- 25' Minimum Front Yard Setback
  - Proposed Setback-120' from the road right of way (Collier Road)
  
- 25' Minimum Rear Yard Setback
  - Proposed Setback-399' from the rear yard property line.
  
- 25' Minimum Side Yard Setback
  - Proposed Setback- North: 287'; South: 179'
  
- 50' Maximum Building Height: The structure will be consistent in height with the existing structure. The structures do not exceed 50'.

**VARIANCE: Expansion of a non-conforming structure in the Riparian Setback**

Per Section 15.07:

A. Structures and uses within the Riparian Setback, existing at the time of passage of these regulations (April 12, 2003), that are not permitted under these regulations may be continued but shall not be expanded except as set forth in this title.

Per the Summit County Fiscal record, the building was constructed in or around 1965

D. Non-residential structure or use expansions will be permitted only through obtaining a variance from the Board of Zoning Appeals.

Per the Summit County Fiscal record, the existing structure is 3,660 square feet in overall area.

The proposed addition is 1,920 square feet in overall area. This is a 52% increase in overall area.

The addition will be placed atop existing impervious surface.

BASIC INFORMATION				
Alternate ID	CP0004202002IHC			
Site Address	1660 COLLIER RD., AKRON 44320-			
Description 1	PT OF LOT 45 W OF COLLIER RD			
Description 2				
Description 3				
Taxing District	15 - COPLEY TWP-COPLEY/FAIRLAWN CSD			
Inter-County	00100			
# of Cards	1			
Lister No., Date	970, 01-JAN-20			
Vacant/Abandon				
Special Flag				
Land Use Code	499 - C - OTHER COMMERCIAL STRUCTURES			
Class	C - COMMERCIAL			
Neighborhood	10300401 -			
OWNER(S)				
Owner 1				Owner 2
1660 COLLIER ROAD LLC				
HOMESTEAD, OOC, RENTAL REG				
Homestead Exemption	NO			
2006 Reduction Amount				
Owner Occupancy Credit	NO			
Rental Registration Date (M/D/Y)				
Rental Registration Exemption Date (M/D/Y)				
LAND SUMMARY				
Line #	Land Type	Square Feet	Acres	Market Land Value
1	A - Acres	43,560	1.0000	38,500.00
2	A - Acres	219,163	5.0313	48,430.00
COMMERCIAL				
Tax Year	2025			
Card Number	1			
Building Number	1			
Year Built	1965			
Effective Year Built				
Structure Code	398 - WAREHOUSE			



## DEPARTMENT & AGENCY COMMENTS

<b>Copley Township Architectural Review Board</b>	Recommend approval of site plan conditioned upon jurisdictional approval and receipt of necessary variance
<b>Copley Township Fire Department</b>	No objection
<b>Copley Township Service Department</b>	No objection
<b>Copley Township Police</b>	No objection
<b>Summit County Engineers Office</b>	No stormwater detention will be required for this addition. A grading permit will be required. The site plan will need to identify roof drain/downspout tie-in locations.
<b>Summit County Floodplain Administration</b>	Pending review

<b>Summit County Soil &amp; Water Conservation District</b>	The floodplain on the parcel is to be considered a riparian setback as it does come into contact with several riparian streams. A variance may be required...
<b>Copley Township Department of Community &amp; Economic Development</b>	Complimentary addition to an industrial building.

**SUGGESTED MOTION FOR CONSIDERATION**

On January 5, 2026, the **Copley Township Architectural Review Board** motioned to recommend approval of the applicants Major Site Plan Application inclusive of a 1920 square foot addition and request for the variance required for construction within the identified floodplain

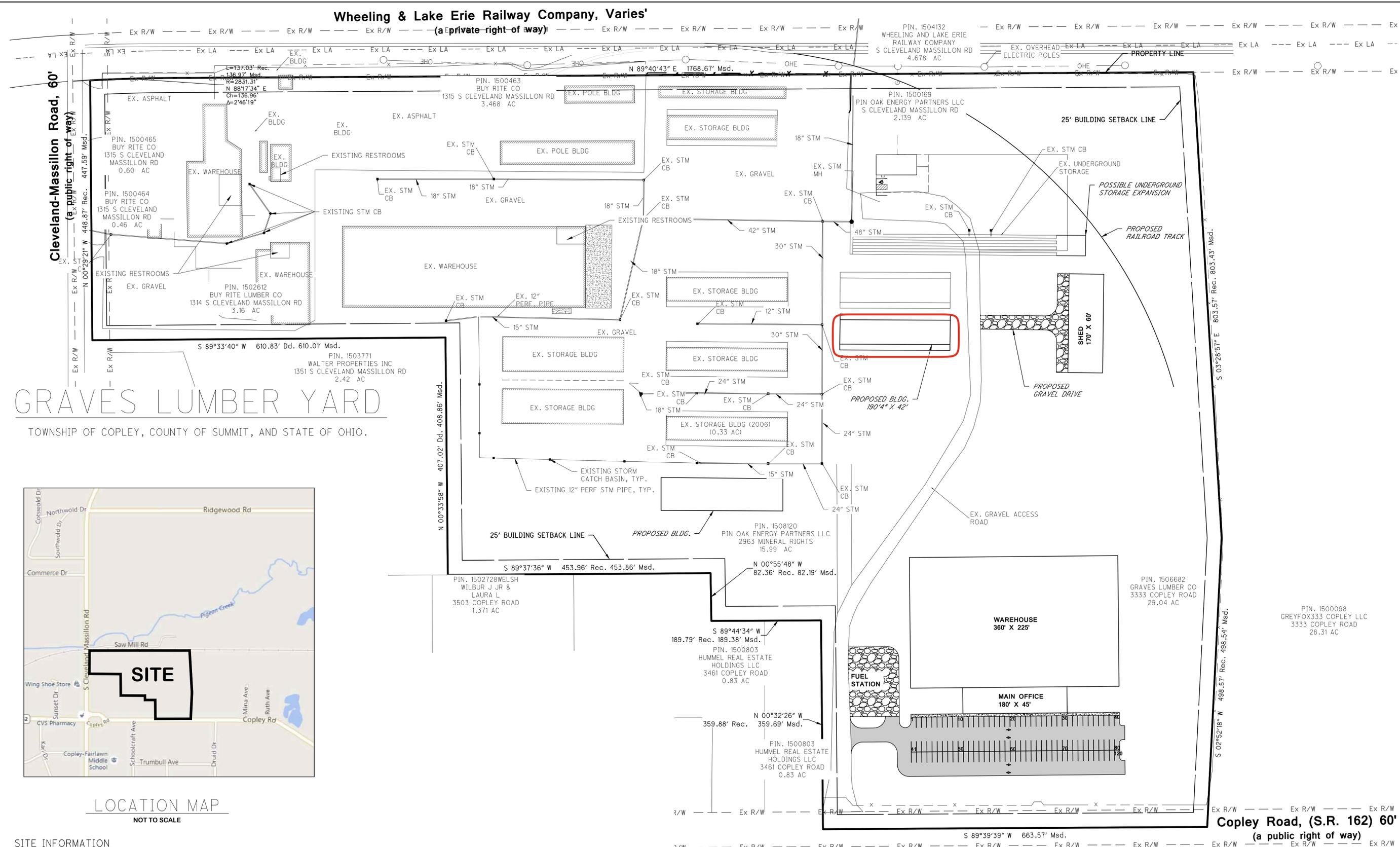
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The **Copley Township Board of Zoning Appeals** motions to (approval/approval with conditions/deny) the applicants variance request to expand a non confirming structure within the riparian setback (floodplain) by an additional 1920 square feet in area conditioned upon approval of the Summit County Floodplain Administrator.

Staff Comment: Conditioned upon agency review and approval

**Wheeling & Lake Erie Railway Company, Varies'**

(a private right of way)



**GRAVES LUMBER YARD**

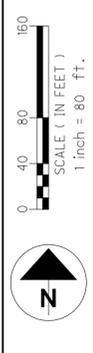
TOWNSHIP OF COPLEY, COUNTY OF SUMMIT, AND STATE OF OHIO.



**LOCATION MAP**  
NOT TO SCALE

**SITE INFORMATION**

PARCEL PIN:	1508120	2963 MINERAL RIGHTS
PARCEL AREA:	15.99 AC	PROPOSED BUILDINGS: 7,994 SF TOTAL
ZONING:	I INDUSTRIAL	
MIN. FRONT YARD:	PER CODE 25' FROM ROW	SHOWN 25'
MIN. REAR YARD:	25'	25'
MIN. SIDE YARD:	25'	25'
MAX. BUILDING HEIGHT:	50'	



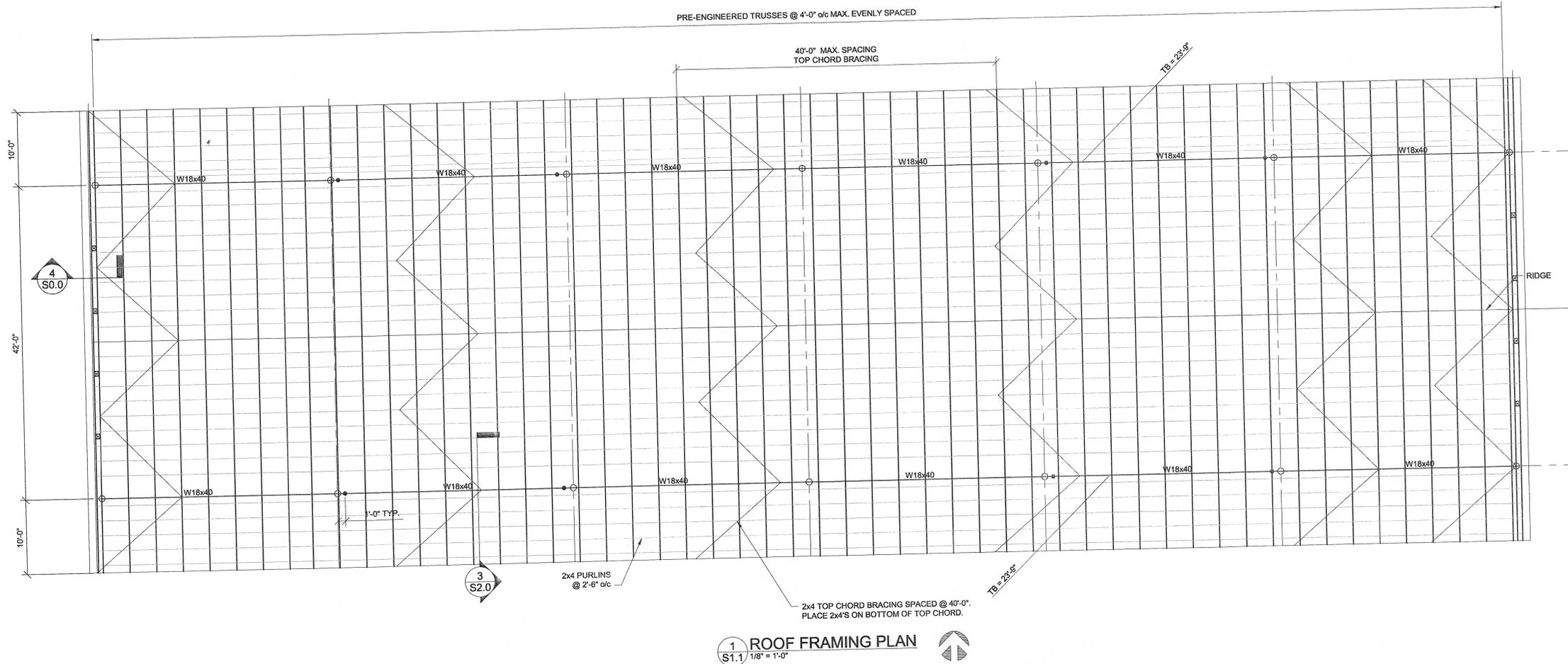
**GRAVES LUMBER SHED ADDITION  
MASTER SITE PLAN**

PROJECT NUMBER	2495
DATE	2024-10-22

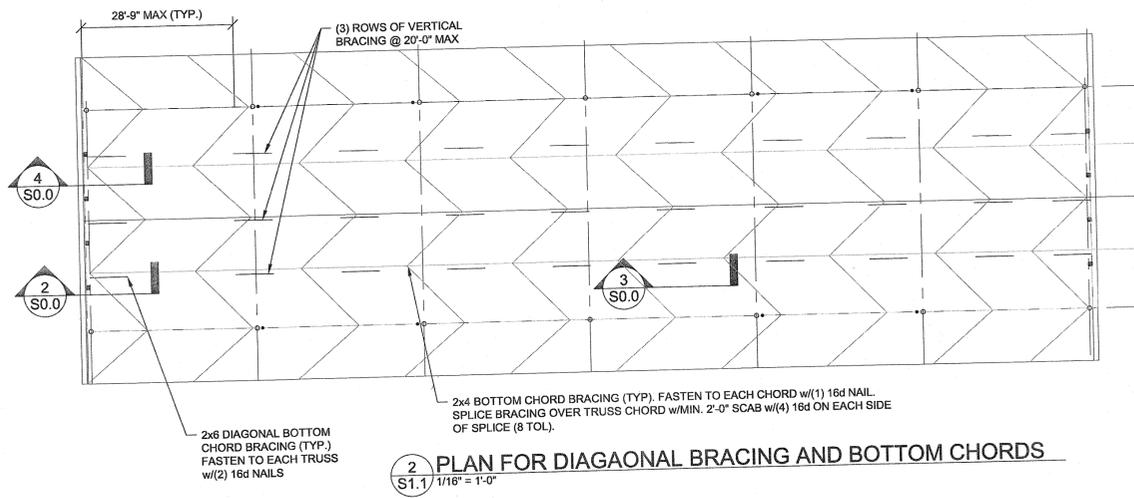


File: T:\Site\eng\lumber\2495\_graves\_lumber\_shed\2495\_master\_site\_plan.dwg, Saved: 10/22/2024 8:29 AM (02057) Plotter: 10/22/2024 10:38 AM (02057) PlotType: 102-201.ctb, Scale: (1:1) Page Setup: (1:1)





**1 ROOF FRAMING PLAN**  
1/8" = 1'-0"

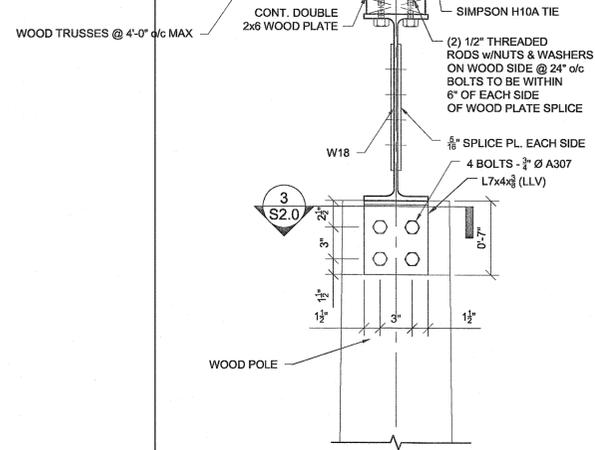
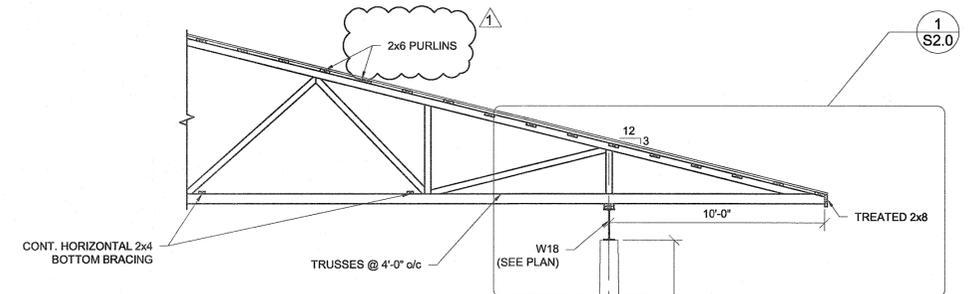
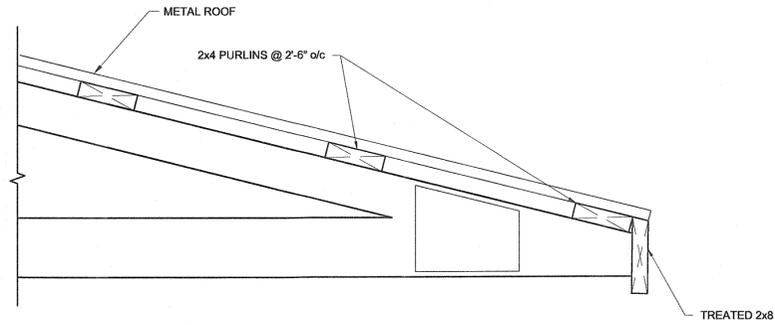
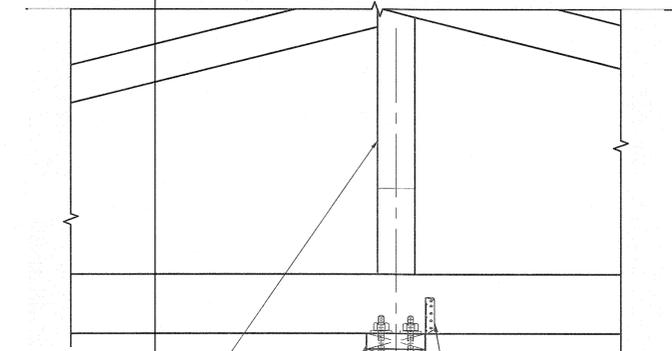


**2 PLAN FOR DIAGONAL BRACING AND BOTTOM CHORDS**  
1/16" = 1'-0"

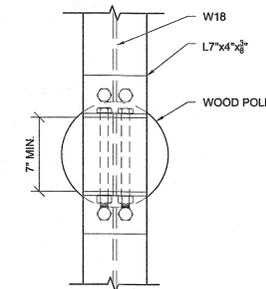
- FRAMING NOTES:
1. TB = TRUSS BEARING ELEVATION REFERENCED FROM GRADE ELEVATION 0'-0"
  2. SEE SHEET S0.0 FOR GENERAL NOTES



PRINTS ISSUED		TTR Engineers 450 GRANT STREET, SUITE 130 AKRON, OH 44311 (330)733-8332 www.ttr-engineers.com		
DATE	USE			
03-12-24	FOR REVIEW	CLIENT: GRAVES LUMBER STORAGE SHED 1315 S. CLEVELAND MASSILLON RD COPLEY, OHIO 44321		
04-02-24	FOR PERMIT			
REVISIONS		FRAMING PLAN		
REV. DATE	DESCRIPTION			
		DESIGNED: JG	CHECKED: BKR	DWG. NO.
		DRAWN: KLG	JOB #: 240254	<b>S1.1</b>



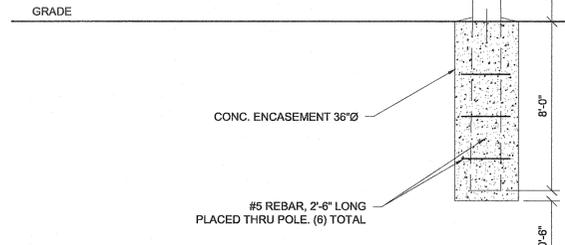
1 FRAMING SECTION  
S2.0 1/12" = 1'-0"



2 SECTION  
S2.0 1/12" = 1'-0"

(3) 16d NAILS

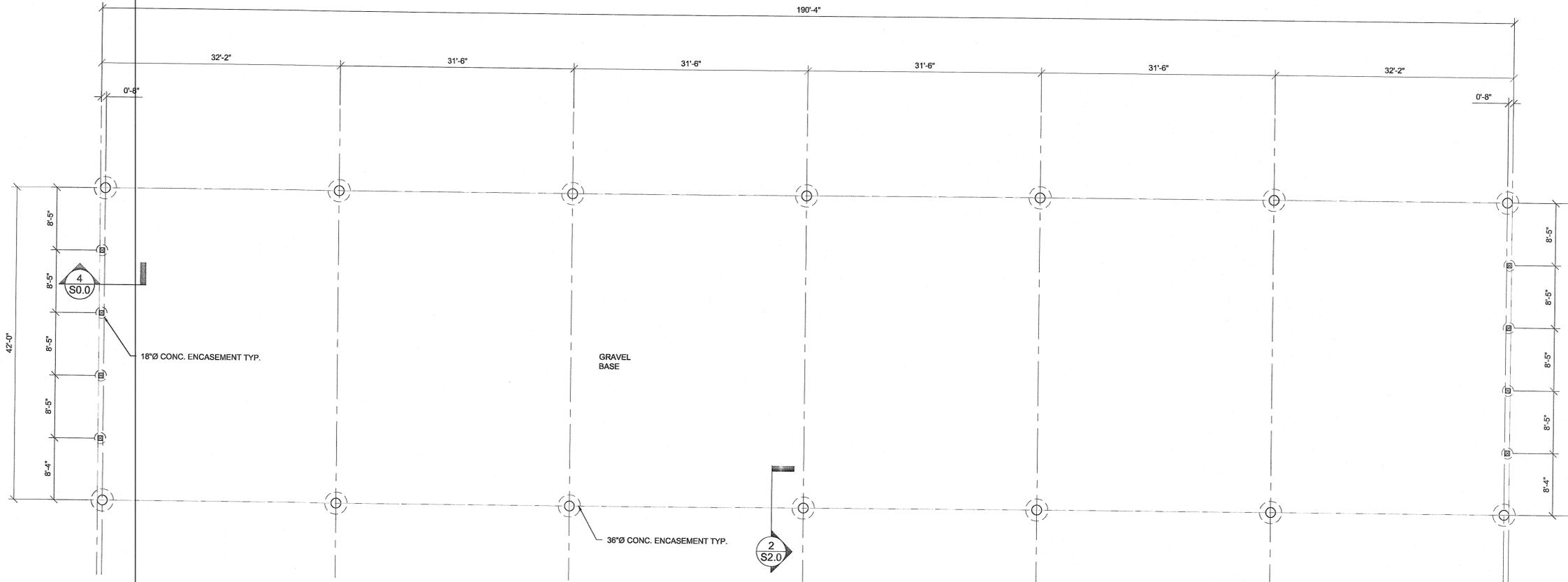
WOOD POLES:  
(10"Ø MIN. @ TOP; 16"Ø @ BOTTOM)



2 SECTION  
S2.0 1/4" = 1'-0"



PRINTS ISSUED		<b>TTR Engineers</b> 450 GRANT STREET, SUITE 130 AKRON, OH 44311 (330)733-8332 www.ttr-engineers.com
DATE	USE	
03-12-24	FOR REVIEW	
04-02-24	FOR PERMIT	
		CLIENT:
		GRAVES LUMBER
		STORAGE SHED 1315 S. CLEVELAND MASSILLON RD COPLEY, OHIO 44321
		FRAMING DETAILS
DESIGNED:	JG	CHECKED: BKR
DRAWN:	KLG	JOB #: 240254
		DWG. NO. S2.0



1 FOUNDATION PLAN  
S1.0 1/8" = 1'-0"

- FOUNDATION NOTES:
1. FOR ADDITIONAL INFORMATION AND REQUIREMENTS, SEE TYPICAL DETAILS AND GENERAL NOTES.
  2. FINISHED FLOOR (F.F.) = 0'-0" U.N.O.

PRINTS ISSUED		<b>TTR Engineers</b> 450 GRANT STREET, SUITE 130 AKRON, OH 44311 (330)733-8332 www.ttr-engineers.com
DATE	USE	
03-12-24	FOR REVIEW	
04-02-24	FOR PERMIT	
		CLIENT:
		GRAVES LUMBER
		STORAGE SHED 1315 S. CLEVELAND MASSILLON RD COPLEY, OHIO 44321
		FOUNDATION PLAN
DESIGNED:	JG	CHECKED: BKR
DRAWN:	KLG	JOB #: 240254
		DWG. NO. S1.0



COUNTY OF SUMMIT  
DEPARTMENT OF BUILDING STANDARDS  
REVIEW NO. CPR240915  
DATE 05/03/2024  
ORC 165.14 PHASED APPROVAL



COPLEY TOWNSHIP  
 ARCHITECTURAL REVIEW BOARD  
 1315 S CLEVELAND MASSILLON RD  
 GRAVES LUMBER  
 STAFF REPORT



January 5, 2026

<p><b>PROJECT: Graves Lumber- Unenclosed Warehouse (Shed)</b>   <b>1315 S Cleveland Massillon Road</b>   <b>PPN: 1507037</b></p>	<p><b>APPLICATION TYPE: Major Site Plan-New Commercial Structure</b></p>
<p>APPLICANT/LANDOWNER</p>	<p>APPLICANT: Jeremy Simmons          LANDOWNER: Graves Lumber Co.</p>
<p>COMPANY PERFORMING WORK REQUESTED</p>	<p>Davey Resource Group</p>
<p>INVESTMENT</p>	<p>\$150,000</p>
<p>APPLICATION SUMMARY</p>	<p>Applicant, Jeremy Simmons, on behalf of Graves Lumber is requesting to construct a new unenclosed warehouse (shed) for the purpose of storing lumber and materials related to the business.</p>
<p>INITIATED BY</p>	<p>Applicant</p>
<p>DECISION TYPE</p>	<p><input type="checkbox"/> Informational  <input type="checkbox"/> Direction  <input checked="" type="checkbox"/> Action</p>
<p>CODE REFERENCES</p>	<p>Article 5, Section 5.01 I-Industrial, D. Development Standards</p> <p><b>D. Development Standards</b></p> <ol style="list-style-type: none"> <li>1. Minimum Front Yard Setback From the Street Right-of-Way Line - Twenty-five (25) feet except as otherwise required in this Article.</li> <li>2. Minimum Rear Yard Setback - Twenty-five (25) feet except as otherwise required in this Article.</li> <li>3. Minimum Side Yard Setback - Twenty-five (25) feet except as otherwise required in this Article.</li> <li>4. Height Regulations - No building shall exceed Fifty (50) feet in height, except as provided otherwise in this Resolution.</li> <li>5. Off-Street Parking - As regulated by Article 9 of this Resolution.</li> <li>6. Sidewalk and/or Shared Use Path - New buildings, structures, and parking areas shall include the installation of a sidewalk and/or shared use path. The sidewalk and/or shared use path shall connect to similar facilities on adjacent property. In special cases, such as if no adjacent property sidewalk or shared use path exists, the facility type(s) and location shall be approved by Copley Township Community and Economic Development Staff via Site Plan review. See Section 13 of this document.</li> </ol>



## PROJECT BACKGROUND AND DESCRIPTION

Applicant, Jeremy Simmons, on behalf of Graves Lumber is requesting to construct a new unenclosed warehouse (shed) for the purpose of storing lumber and materials related to the business.

The structure is 11,800 square feet in overall area (42' x 190').

The structure is comprised of wood frame, metal siding and metal roofing.

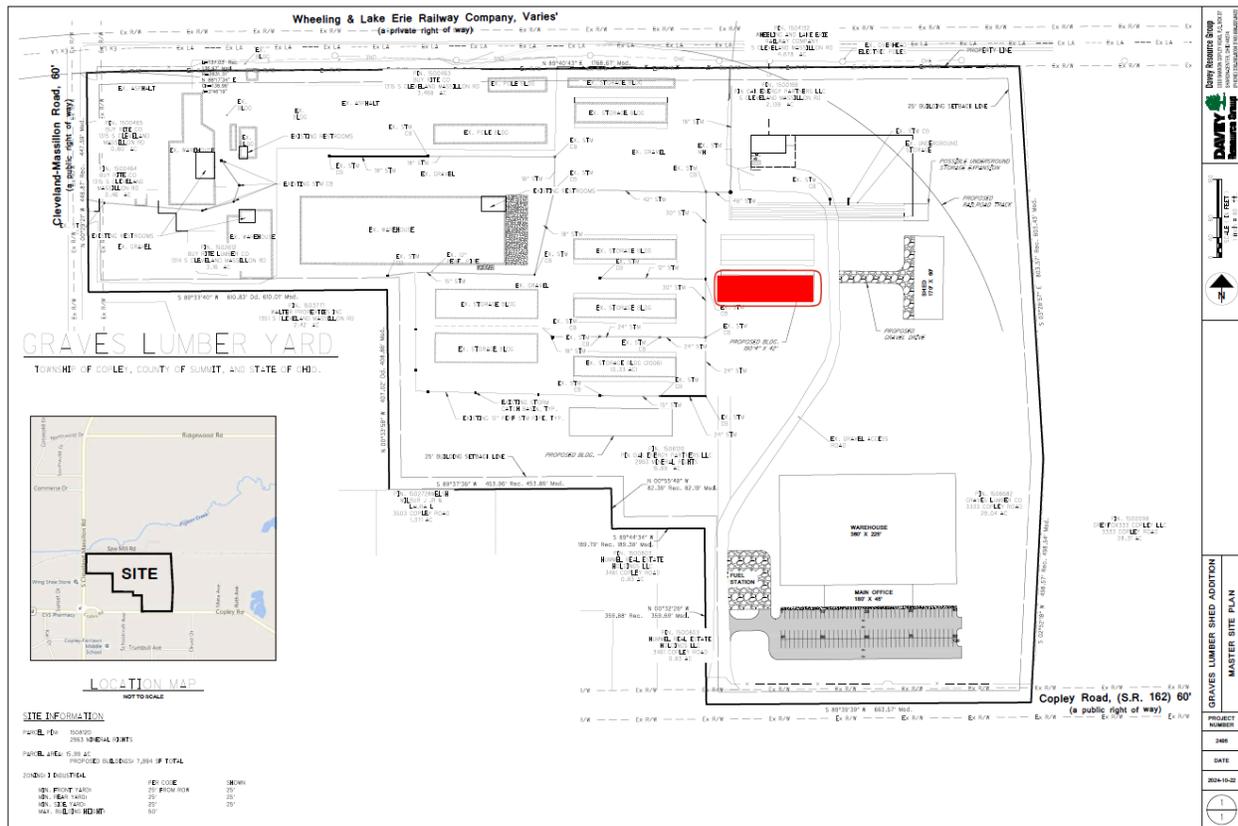
### ARTICLE 5-SECTION 5.01 D. DEVELOPMENT STANDARDS

- 25' Minimum Front Yard Setback: Proposed Setback-1200'+ from the road right of way
- 25' Minimum Rear Yard Setback: Proposed Setback-443' from the rear yard property line.
- 25' Minimum Side Yard Setback: Proposed Setback- North: 300'; South: 900' (Copley Road)
- The structures are separated by a minimum of 30' in all directions and will meet the requirements of the Ohio Fire Code. The structures will maintain a 60' separation from overhand to overhang
- 50' Maximum Building Height: The structure will be 30' in overall height

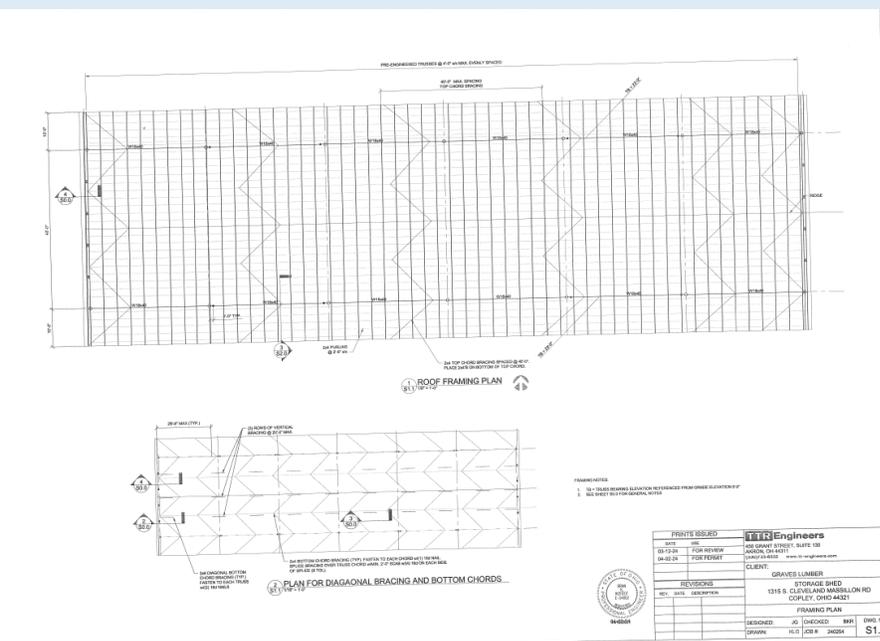
The proposed structures will mirror the design of the existing unenclosed warehouses currently located on site.

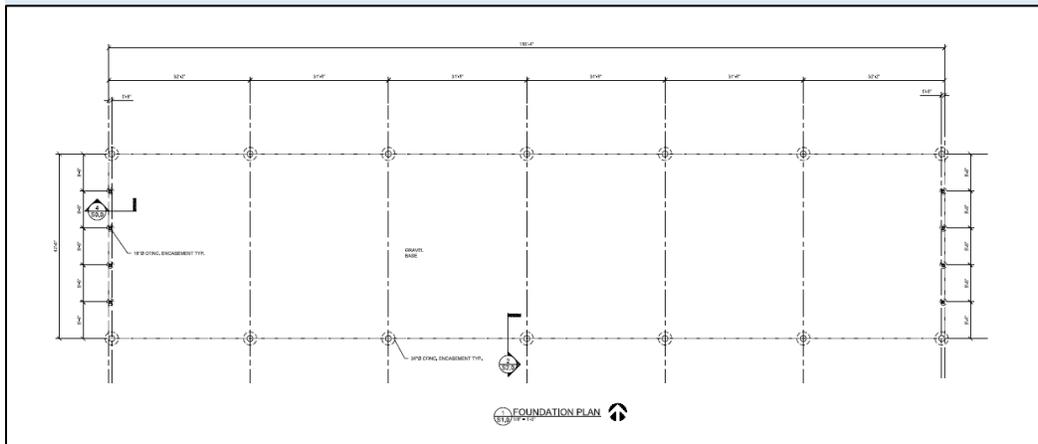
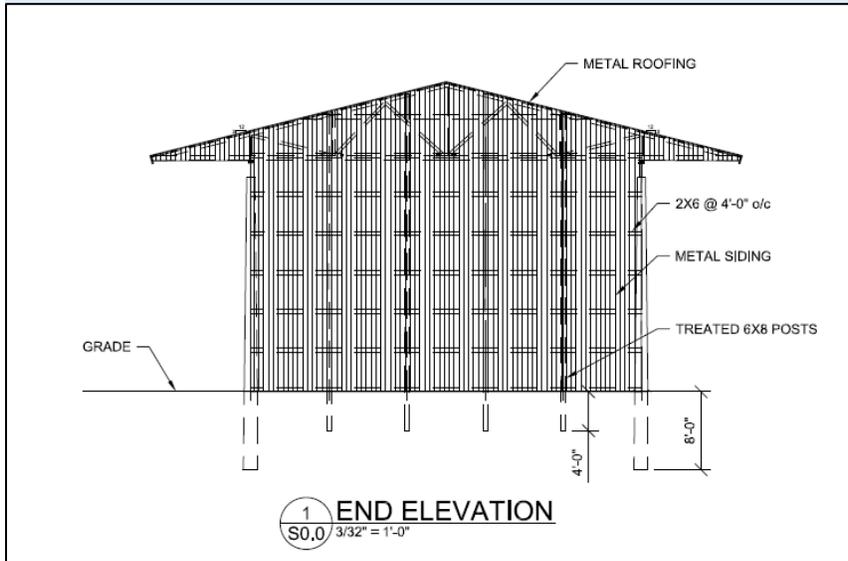


# PROPOSED LOCATION OF NEW STRUCTURE



# RENDERINGS & FOUNDATION PLAN





## EXTERNAL REVIEW CRITERIA

### SUMMIT COUNTY ENGINEERS OFFICE

*Grading Permit required. No detention is required for this project.*

- *The new underground storage completed in 2024 was designed to address the additional impervious area for structures on the east side of the existing gravel access road.*
- *A grading permit prior to construction, primarily for purposes of showing the roof drain/down spout locations.*

### SUMMIT SOIL & WATER CONSERVATION DISTRICT

*The shed will involve a sub-one acre disturbance and will not create any additional impervious area. As such, no plan reviews will be required by our office.*

## INTERNAL REVIEW CRITERIA

### COPLEY TOWNSHIP FIRE DEPARTMENT

*The Fire Department requires drivable vehicle access to all sides of the buildings. The building shall be designed to the most current Ohio building and fire codes for its designated use group.*

### COPLEY TOWNSHIP DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT

*The Community and Economic Development Department is in support of the applicants request to construct an enclosed warehouses for the purposes of storing lumber and building materials. Graves Lumber currently occupies forty (40) plus acres of industrial land in Copley and continues to expand and reinvest their facilities here in Copley.*

## SUGGESTED MOTIONS AND AUTHORITY TO PROCEED

The Copley Township Architectural Review Board motioned to (approve/approve with condition/deny) the applicants request to construct a new 11,800 square foot unenclosed warehouse (shed).

**STAFF NOTES: Approval conditioned upon satisfying all jurisdictional agency requirements.**

DRAFT

# AUTOBAHN SERVICE CENTER, INC.

COPLEY TOWNSHIP  
 COUNTY OF SUMMIT  
 STATE OF OHIO  
 SEPTEMBER - 2025



VICINITY MAP  
 NO SCALE



**SUMMIT COUNTY ENGINEER**  
 REVIEWED BY: ANDY DUNCHUCK, P.E., SUMMIT COUNTY ENGINEER'S OFFICE  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 SUMMIT COUNTY ENGINEER'S OFFICE  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 SUMMIT COUNTY ENGINEER  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 SUBMITTED BY:  REG. ENGINEER NO. 61709 DATE: 12-05-2025

- CONTACT PERSONS:**
- |   |   |
|---|---|
| <b>ZONING</b><br>COPLEY TOWNSHIP<br>1540 S. CLEVELAND MASSILLON RD.<br>COPLEY, OHIO 44321<br>MATT SPRINGER<br>SHAWNA GFROERER - (330) 666-0108    | <b>TELEPHONE</b><br>VERIZON<br>6223 NORWALK RD.<br>MEDINA, OH 44256<br>(330) 722-9596   |
| <b>ENGINEERING</b><br>SUMMIT COUNTY ENGINEER<br>538 E. SOUTH ST.<br>AKRON, OHIO 44311<br>TIM BOLEY (330) 643-2850                                 | <b>GAS</b><br>DOMINION EAST OHIO GAS CO.<br>2100 EASTWOOD AVE.<br>AKRON, OHIO 44305<br>(330) 742-8124   |
| <b>SANITARY SEWER</b><br>DEPARTMENT OF SANITARY SERVICES<br>1180 S. MAIN STREET - SUITE 201<br>AKRON, OHIO 44301<br>ROSS NICHOLSON (330) 926-2477 | <b>CABLE TV</b><br>TIME WARNER CABLE<br>1200 BROWNSTONE RD.<br>AKRON, OHIO 44310<br>CHARLES TONEY - (330) 630-7950                                |
| <b>ELECTRIC</b><br>FIRST ENERGY<br>1910 W. MARKET ST.<br>AKRON, OHIO 44313<br>(330) 384-4720  | <b>EROSION CONTROL</b><br>SUMMIT SOIL AND WATER CONSERVATION DISTRICT<br>1180 S. MAIN STREET<br>AKRON, OHIO 44301<br>JULIE BERBARI (330) 929-2443 |
| <b>WATER</b><br>CITY OF AKRON WATER SUPPLY BUREAU<br>1460 TRIPLETT BLVD.<br>AKRON, OHIO 44306<br>BOB GEISER, P.E.<br>(330) 375-2791               |   |

DESCRIPTION	INDEX	SHEET NO.
TITLE SHEET		C100
GENERAL NOTES		C100A
DEMOLITION PLAN		C101
SITE PLAN		C102
UTILITY & GRADING PLAN		C103
SITE DETAILS		C104
SWP3		C105-C105A
SWP3 DETAILS		C106-C107



2555 Hartville Rd., Suite B  
 Rootstown, OH 44272  
 www.WeberEngineeringServices.com  
 330-329-2037  
 matt@webercivil.com



Reg. No.: 61709

**CLIENT:**  
 DAVID W. SMITH,  
 ARCHITECT, LLC  
 1390 PARTRIDGE LANE  
 AKRON, OHIO  
 44333

**OWNER:**  
 COPLEY HOLDINGS, LLC  
 1330 SOUTH CLEVELAND  
 MASSILLON ROAD  
 COPLEY, OH  
 44321

**AUTOBAHN SERVICE CENTER, INC.**  
**BUILDING ADDITION**  
 1330 S. CLEVELAND MASSILLON RD. COPLEY, OH

<b>Issue Date</b>
09-16-2025
10-27-2025
12-05-2025

**TITLE SHEET**

**C100**  
 Project No. 2025-271

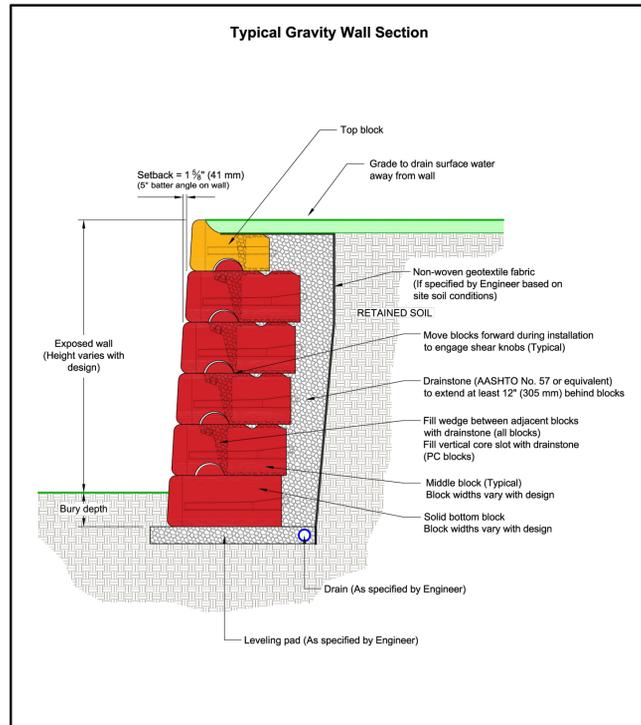






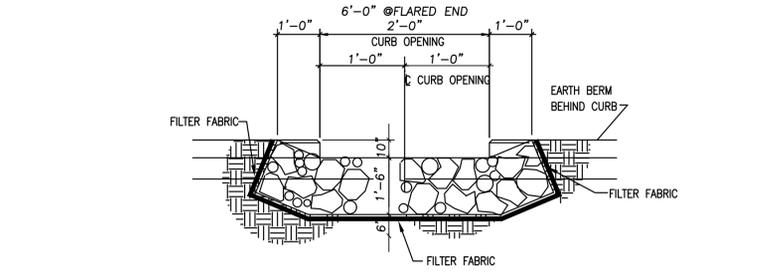




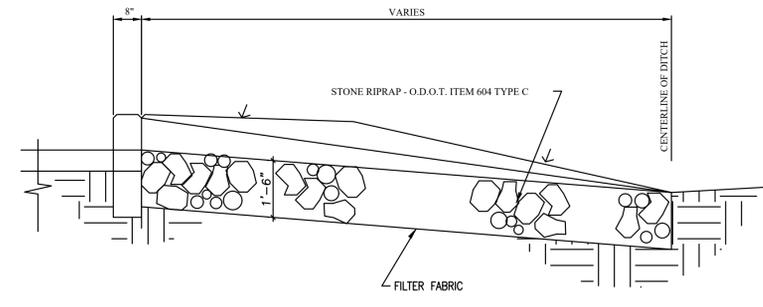


This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site.

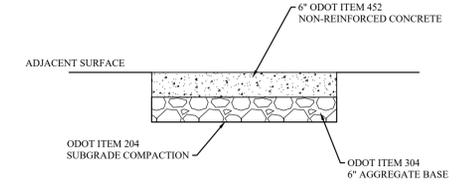
DRAWN BY:	JRJ	TITLE:	Typical Gravity Wall Detail
APPROVED BY:	JRJ	DATE:	17MAR2016
DATE:	17MAR2016	FILE:	1 Typical Gravity Wall Detail 031716.dwg
SHEET:	1 of 1		



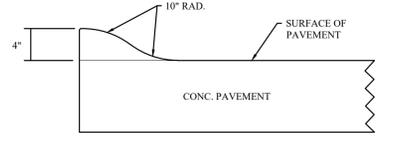
TRANSVERSE SECTION THROUGH TYPICAL FLUME  
REFERENCE ONLY NOT TO SCALE



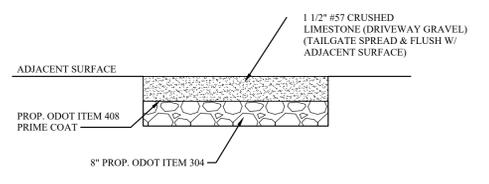
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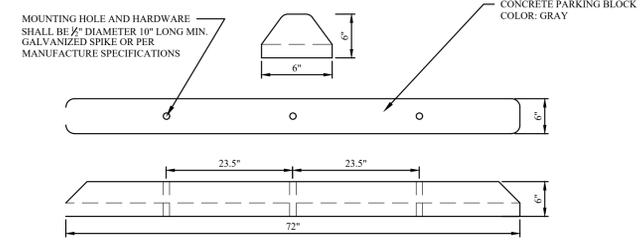
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REFERENCE ONLY NOT TO SCALE



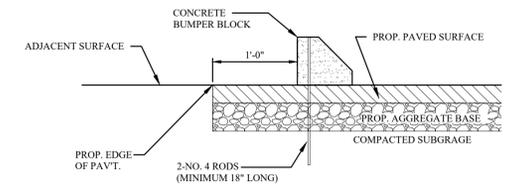
ODOT TYPE 3-A  
CONCRETE CURB DETAIL  
REFERENCE ONLY NOT TO SCALE



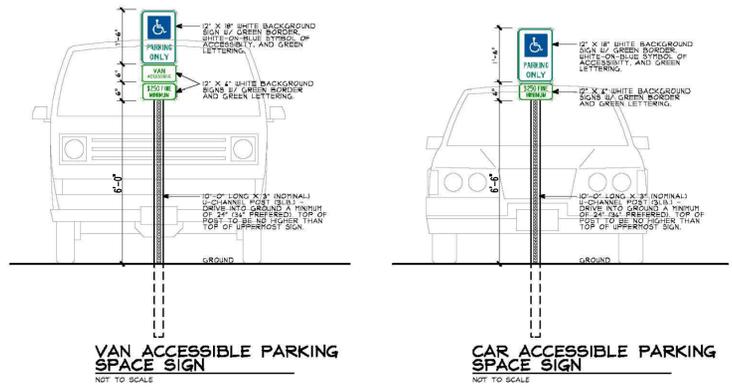
REGULAR DUTY GRAVEL PAVEMENT DETAIL  
REFERENCE ONLY NOT TO SCALE



PROP. CONCRETE BUMPER BLOCK  
REFERENCE ONLY NOT TO SCALE



BUMPER BLOCK DETAIL  
REFERENCE ONLY NOT TO SCALE



HANDICAPPED PARKING DETAIL  
REFERENCE ONLY NOT TO SCALE



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BUILDING ADDITION  
1330 S. CLEVELAND MASSILLON RD. COPLEY, OH

Issue Date  
09-16-2025  
10-27-2025  
12-05-2025

SITE  
DETAILS

C104  
Project No. 2025-271





1. Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:

- Prevent spills
- Use products up
- Follow local directions for disposal
- Remove lids from empty bottles and cans when disposing in trash
- Recycle wastes whenever possible

• Don't pour into waterways, storm drains or onto the ground

• Don't pour down the sink, floor drain or septic tanks

• Don't bury chemicals or containers

• Don't burn chemicals or containers

• Don't mix chemicals together

2. **Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site.** Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.

3. **No construction related waste materials are to be buried on-site.** By exception, clean fill (bricks, hardened concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.

4. **Handling Construction Chemicals.** Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.

5. **Equipment Fueling and Maintenance,** oil changing, etc., shall be performed away from watercourses, ditches or storm drains, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.

6. **Concrete Wash Water** shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tie or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.

7. **Spill Reporting Requirements:** Spills on pavement shall be absorbed with sawdust or kitty litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.

8. **Contaminated Soils.** If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the petroleum should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water runoff associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.

9. **Open Burning.** No materials containing rubber, grease, asphalt, or petroleum products, such as tires, auto parts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporation limits; 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000; and 3) a one mile zone outside of a corporation of 10, 000 or more. Outside of restricted areas, no open burning is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.

10. **Dust Control or dust suppressants** shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.

11. **Other Air Permitting Requirements:** Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.

12. **Process Waste Water/Leachate Management.** Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or seepage is discharged, it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.

13. **A Permit To Install (PTI)** is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.

## OHIO EPA PERMIT NO. OHC000006

### PART III G. SWP3 REQUIREMENTS

a. RESIDENTIAL DEVELOPMENT

b. TOTAL SITE AREA - 1.84 AC. - DISTURBED AREA = 0.78 AC.

c. PRE-CONSTRUCTION RUNOFF COEFFICIENT - C=0.73;

d. POST-CONSTRUCTION RUNOFF COEFFICIENT - C=0.74

e. IMPERVIOUS AREA = 1.11 AC. (ENTIRE SITE), PERCENT IMPERVIOUS = 60.3%.

f. SOIL TYPES:

CoC2 - Chili gravelly loam, 6 to 12% slopes, moderately eroded

CuB - Chili-Urban land complex, undulating

g. PRIOR LAND USE: DEVELOPED BUSINESS

h. CONSTRUCTION SEQUENCE - SEE IMPROVEMENT PLANS

• UNNAMED TRIBUTARY TO PIGEON CREEK

• NO WETLANDS

i. NOT SUBDIVIDED (MEASURES IDENTIFIED ON PLANS)

j. NOT APPLICABLE

k. PERMIT REQUIREMENTS ATTACHED. (FIELD COPY)

l. IDENTIFIED ON SHEET C105

m. IDENTIFIED ON SHEET C105

n. SITE MAP SHOWN ON PLANS

(i) LIMITS OF CONSTRUCTION IDENTIFIED ON THE PLANS (LC).

(ii) SOIL TYPES IDENTIFIED ON THE PLANS

(iii) DRAINAGE WATER SHEDS IDENTIFIED ON THE PLANS.

(iv) THERE ARE NO WETLANDS ON THE SITE. NO SPRINGS, LAKES OR WATER WELLS WITHIN 200 FEET OF THE SITE.

(v) EXISTING & PLANNED LOCATIONS OF BUILDINGS, ROADS, PARKING FACILITIES AND UTILITIES ARE IDENTIFIED ON THE PLANS.

(vi) EROSION AND SEDIMENT CONTROL PRACTICES ARE IDENTIFIED ON THE PLANS.

(vii) SEDIMENT & STORM WATER MANAGEMENT DATA IS IDENTIFIED ON THE PLANS.

(viii) PERMANENT STORM WATER MANAGEMENT PRACTICES ARE IDENTIFIED ON THE PLANS.

(ix) CEMENT TRUCK WASHOUT, DUMPSTER & VEHICLE FUELING AREA ARE IDENTIFIED ON THE PLANS.

(x) CONSTRUCTION ENTRANCE IS IDENTIFIED ON THE PLANS.

(xi) NOT APPLICABLE

A. NOT APPLICABLE.

B. TEMPORARY SEEDING AND PERMANENT SEEDING MEASURES ARE IDENTIFIED ON THE PLANS.

(I) TABLE 1 & TABLE 2 HAVE BEEN IDENTIFIED ON THE PLANS.

(II) NOT APPLICABLE.

C. SHEET FLOW RUNOFF HAS BEEN CONTROLLED BY MEANS OF SILT FENCE AND DIRECTED TOWARDS UNDISTURBED SOILS. POINT DISCHARGES HAVE BEEN CONTAINED WITHIN STORM SEWERS.

D. SEDIMENT CONTROL HAS BEEN MANAGED BY MEANS OF SILT FENCE.

(I) NOTED THROUGHOUT THE PLANS.

(II) SILT FENCE UTILIZED.

(III) SILT FENCE IS IDENTIFIED ON THE PLANS.

(IV) INLET PROTECTION IS IDENTIFIED ON THE PLANS.

(V) NOT APPLICABLE.

(VI) NOTED ON THE IMPROVEMENT PLANS.

E. POST-CONSTRUCTION MAINTENANCE AND INSPECTION IS IDENTIFIED ON THE PLANS.

LARGE CONSTRUCTION ACTIVITIES - NOT APPLICABLE

SMALL CONSTRUCTION ACTIVITIES - RATIONALE IDENTIFIED ON PLANS

F. SURFACE WATER PROTECTION - NOT APPLICABLE

G. OTHER CONTROLS

(I) CEMENT TRUCK WASHOUT AREA IS IDENTIFIED ON THE PLANS.

(II) DUST CONTROL MEASURES AND VEHICLE TRACKING ARE IDENTIFIED ON THE PLANS.

(III) ADDITIONAL NOTES ARE IDENTIFIED ON THE PLANS.

(IV) NOTED ON THE PLANS.

(V) NOTED ON THE PLANS.

H. NOTED THROUGHOUT THE PLANS.

I. INSPECTION FREQUENCY AND INSPECTION CHECKLIST IS NOTED ON THE PLANS.

(I) NOTED ON THE PLANS.

(II) NOTED ON THE PLANS.

(III) STATEMENT NOTED.

3. APPROVED STATE OR LOCAL PLANS

STATEMENT NOTED.

4. EXCEPTIONS

STATEMENT NOTED.

## CONSTRUCTION SEQUENCE

(ALL ITEMS ARE TO BE THE RESPONSIBILITY OF THE GENERAL SITE CONTRACTOR)

### SITE PREPARATION

NOTE:

PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL, AS SPECIFIED BY THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED NPDES PERMIT AND SIGN THE PERMIT TO ACCEPT RESPONSIBILITIES AS THE CO-PERMITTEE.

### INITIAL PHASE (WITHIN 7 DAYS OF START OF GRUBBING)

1. SETUP CONSTRUCTION TRAILER ON SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE AS NECESSARY.

2. ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. STAKEOUT LIMITS OF DISTURBANCE.

4. INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS WITHIN LIMITS OF CONSTRUCTION. REMOVE SILT PROTECTION FROM DESIGNATED INLETS ONLY WHEN INLET STRUCTURE IS TO BE REMOVED AS REQUIRED BY PROGRESSION OF CONSTRUCTION. REFER TO PLANS FOR IDENTIFICATION OF INLET STRUCTURES TO BE REMOVED.

5. INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS.

6. BEGIN SITE CLEARING.

7. REMOVE TOPSOIL FROM AREAS OF BUILDING AND PAVEMENT.

8. BEGIN EARTHWORK OPERATIONS.

9. IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER E.P.A. REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SYSTEM. REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC., THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

### INTERIM PHASE GENERAL CONSTRUCTION

1. MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK.

2. BEGIN EARTHMOVING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION AND SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL. THE CONTRACTOR IS TO COORDINATE WITH OWNER THE PLACEMENT OF SUCH MEASURES.

3. REPLACE TOPSOIL, FINE GRADE AND SEED AS REQUIRED.

4. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWN VETCH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.

5. RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 80% COVERAGE IS ACHIEVED.

6. ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

## SPECIFICATIONS FOR TEMPORARY SEEDING

ANNUAL PLANT SPECIES	PURE LIVE SEEDING RATE (LB./AC.)	SEEDING DATES	SEED DEPTH
ANNUAL RYE GRASS (LOLIUM MULTIFLORUM)	100	MARCH 1 TO MAY 1 AUGUST 1 TO OCTOBER 1	1"
SPRING OATS (AVENA SATIVA)	128	MARCH 1 TO AUGUST 1	1"
WINTER CEREAL RYE (SECALE CEREALE)	100	MARCH 1 TO NOVEMBER 1	1"
OATS (AVENA SATIVA)	64	JUNE 1 TO AUGUST 1	1"
SORGHUM SUNDRANGRASS (SORGHUM X DRUMMONDII)	60		1"
PEARL MILLET (PENNISETUM GLAUCUM)	20	JUNE 1 TO AUGUST 1	1"
WINTER WHEAT (TRITICUM AESTIVUM)	100	OCTOBER 1 TO NOVEMBER 1	1"
MULCH ONLY		NOVEMBER 1 TO MARCH 1	

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BEFORE CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDBED SHALL BE PULVERIZED AND LOOSED TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTHOLE IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS--APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

### MULCHING/TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND OR VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS: STRAW--IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC. OR 80 LB./1,000 SQ. FT. (TWO TO THREE BALE). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY. DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS--IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT. OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS/AC.

STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICAL--A DISK, CRUMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN AN MULCH NETTINGS--NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS--SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGR-FACL, DCA-70, PETROSET, TERRA-TACK OR EQUIVALENT) MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD CELLULOSE FIBER BINDERS SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL.

### BMP INSPECTION CHECKLIST

BMP	FREQUENCY	NOTES
GENERAL INSPECTION	EVERY 6 MO.	
STORM WATER BASIN VEGETATION	MONTHLY	FIRST 2 GROWING SEASONS THEN TWICE A YEAR
SILT FENCE	MONTHLY	FIRST GROWING SEASON

Mix Use	Plant Species	Pure Live Seeding Rate (lb/ac) <sup>2</sup>	Percent of Mix	
1. Multipurpose Lawn	Turf Type Fescue ( <i>Festuca arundinacea</i> )	40	47	
	Kentucky Bluegrass ( <i>Poa pratensis</i> )	20	23	
	Perennial Ryegrass ( <i>Lolium perenne</i> )	25	30	
		85 lb/ac total PLS rate		
2. Quick Cover	Kentucky Bluegrass ( <i>Poa pratensis</i> )	15	44	
	Creeping Red Fescue ( <i>Festuca rubra</i> )	16.5	47	
	Annual Ryegrass ( <i>Lolium multiflorum</i> )	1.5	2	
		33 lb/ac total PLS rate		
3. Secondary Wildlife Benefits Cover	Perennial Ryegrass ( <i>Lolium perenne</i> )	19	30	
	Kentucky Bluegrass ( <i>Poa pratensis</i> )	11	18	
	Orchardgrass ( <i>Dactylis glomerata</i> )	22.5	37	
		52.5 lb/ac total PLS rate		
4. Steep Slopes	Annual Ryegrass ( <i>Lolium multiflorum</i> )	1.5	10	
	Perennial Ryegrass ( <i>Lolium perenne</i> )	19	31	
	Red Clover ( <i>Trifolium pratense</i> )	2	4	
		56 lb/ac total PLS rate		
5. Meadow / Conservation Area <sup>1</sup>	Hard Fescue ( <i>Festuca longifolia</i> )	55	55	
	Creeping Red Fescue ( <i>Festuca rubra</i> )	25	25	
	Annual Ryegrass ( <i>Lolium multiflorum</i> )	10	10	
		100 lb/ac total PLS rate		
New England Aster ( <i>Symphyotrichum novae-angliae</i> ), Partridge Pea ( <i>Chamaecrista fasciculata</i> ), Purple Coneflower ( <i>Echinacea purpurea</i> ), Rattlesnake Master ( <i>Eryngium yuccifolium</i> ), Ox-Eye Sunflower ( <i>Helipopsis helianthoides</i> ), Bergamot ( <i>Monarda fistulosa</i> ), Grey-Headed Coneflower ( <i>Rudibida pinnata</i> ), Orange Coneflower ( <i>Rudbeckia fulgida</i> ), Prairie Dock ( <i>Siphium terribilitosum</i> ), Whorled Roseweed ( <i>Siphium trifolium</i> ), Self-Healer ( <i>Solidago rigida</i> ) (a mixture of 5 to 12 species with any one not to exceed 5% of the mix)		15	25	
	Big Blue Stem ( <i>Andropogon gerardii</i> )	2	3	
	Little Blue Stem ( <i>Schizachyrium scoparium</i> )	3	5	
	Indian Grass ( <i>Sorghastrum nutans</i> )	1	2	
	Annual Ryegrass ( <i>Lolium multiflorum</i> )	40	65	
			61 lb/ac total PLS rate	

## SPECIFICATIONS FOR PERMANENT SEEDING

### SITE PREPARATION

A SUBGRADER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO BREAK UP SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLP PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO THE MINIMUM NECESSARY FOR ESTABLISHING VEGETATION.

THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.

TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION. SEEDBED PREPARATION

LIME--AGRICULTURAL OR INDUSTRIAL LIMESTONE SHALL BE APPLIED TO ACID SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/ACRE.

FERTILIZER--FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 LB./1,000 SQ. FT. OR 100 LB./ACRE OF 10-10-10R, 12-12-12 ANALYSIS.

THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK, HARROW, SPRING-TOOTH HARROW OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES ON SLOPING LAND. THE SOIL SHALL BE WORKED ON THE CONTAIN.

EROSION PREVENTION PRACTICES

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUG 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE AT LEAST AN 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDING

SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.

THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":

FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR.

AFTER NOVEMBER 20, BROADCAST THE SELECTED SEED MIXTURE AT A 50% INCREASE IN THE SEEDING RATE.

FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 30% FOR THIS TYPE OF SEEDING.

APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER (STURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOST SEEDBED.

WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FLOPED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER OR LIGHT DRAG, ON SLOPING LAND. SEEDING OPERATIONS SHOULD FOLLOW THE CONTOUR WHERE FEASIBLE.

### EROSION PREVENTION PRACTICES

WOOD CELLULOSE FIBER--WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 LB. CELLULOSE/100 GALLONS OF WATER.

### IRRIGATION

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.

IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDBED AREAS FROM EXCESSIVE RUNOFF.



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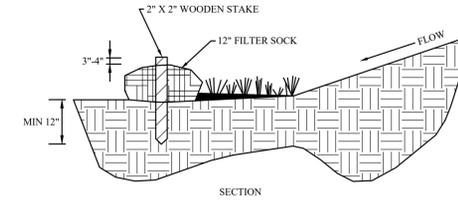
AUTOBAHN SERVICE CENTER, INC.

**SPECIFICATIONS FOR MULCHING**

- MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
  - STRAW - SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
  - HYDROSEEDERS - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
  - OTHER - ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION CONTROL PRODUCTS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD MULCH CHIPS APPLIED AT 10-20 TONS/AC.
- MULCH ANCHORING - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:
  - MECHANICAL - USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
  - MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
  - SYNTHETIC BINDERS - FOR STRAW MULCH. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATER OF THE STATE.
  - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

**SPECIFICATIONS FOR SODDING**

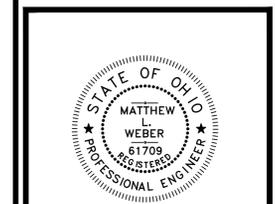
- MATERIALS**
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 48 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
  - THE SOD SHALL BE KEPT MOIST AN COVERED DURING HAULING AND PREPARATION FOR PLACEMENT.
  - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCHES, PLUS OR MINUS 0.25 INCHES, AT THE TIME OF CUTTING. MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION**
- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONDUCTED ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED ONLY TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
  - THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED.
  - SOIL AMENDMENTS
    - LIME - AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT OR 2 TONS/AC.
    - FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A 2 SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1,000 SQ. FT OR 500 LB./AC. OF 10-10-10 OR 12-12-12 ANALYSIS
    - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES.
  - BEFORE LAYING SOD, THE SURFACE SHALL BE UNIFORMLY GRADED AND CLEARED OF ALL DEBRIS, STONES AND CLOUDS LARGER THAN 3-IN. DIAMETER.
- SOD INSTALLATION**
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD.
  - SOD SHALL NOT BE PLACED ON FROZEN SOIL.
  - THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED IN A BRICK-LIKE PATTERN. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS THAT WOULD DRY THE ROOTS.
  - ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS. THE SOD SHALL BE SECURED WITH PEGS OR STAPLES.
  - AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE SOD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN 8 HOURS.
- MAINTENANCE**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK WITH SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4-6 INCHES.
  - AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND ENSURE ESTABLISHMENT.
  - THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.



- MATERIALS-COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 1/8 TO 2".
  - FILTER SOCKS SHALL BE 3 OR 5 MILL CONTINUOUS, TUBULAR, HDPE 5 KNITTED MESH NETTING MATERIAL FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
  - FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
  - FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
  - FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATE FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- MAINTENANCE:**
- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
  - REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
  - WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
  - REMOVAL-FILTER SOCKS WILL BE DISPersed ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AN NO OBSTRUCT SEEDINGS.

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**AUTOBAHN SERVICE CENTER, INC.**  
 BUILDING ADDITION  
 1330 S. CLEVELAND MASSILLON RD. COPLEY, OH

**Issue Date**  
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**SWP3  
 DETAILS**

**C107**  
 Project No. 2025-271

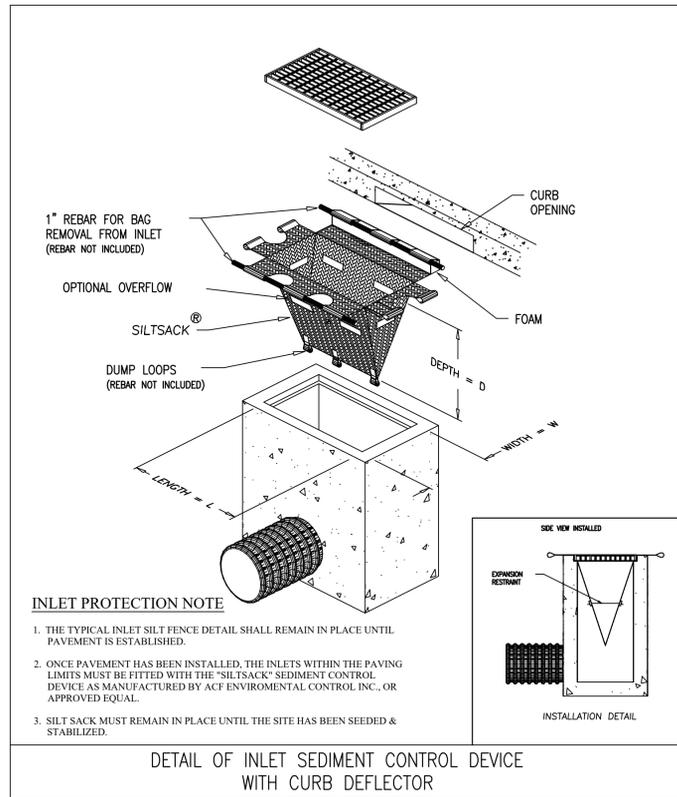
**SPECIFICATIONS FOR DUST CONTROL**

**ADHESIVES FOR DUST CONTROL**

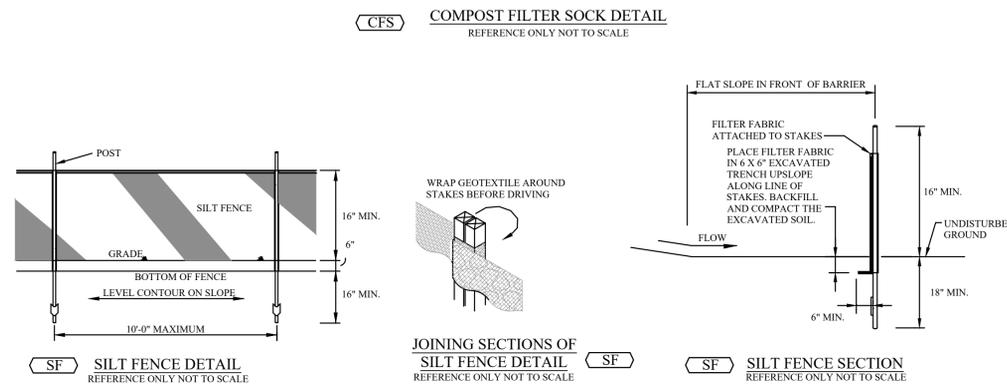
ADHESIVE	WATER DILUTION (ADHESIVE WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

- VEGETATIVE COVER AND/MULCH- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING- SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS
- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS- EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIER'S SPECIFIED RATES.
- OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

STREET CLEANING- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.



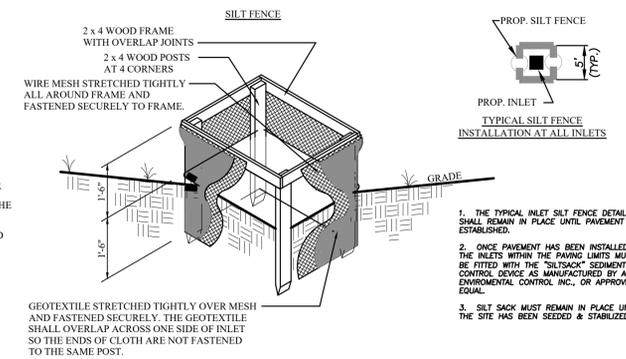
(IPSS) SILTSACK DETAIL



- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
  - ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
  - TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
  - WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
  - WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
  - THE HEIGHT OF THE SILT FENCE SHALL BE A MIN. OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.
  - THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MIN. OF 6 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
  - THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
  - SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
  - MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.
- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
- SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.
- CRITERIA FOR SILT FENCE MATERIALS**
- FENCE POSTS--THE LENGTH SHALL BE A MINIMUM OF 32 IN. LONG. WOOD POSTS WILL BE 2-BY-2 IN. HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
  - SILT FENCE FABRIC (SEE CHART BELOW):

MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)		
FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4362
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	<.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10 <sup>-2</sup> SEC <sup>-1</sup>	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4355

(SF) SPECIFICATIONS FOR SILT FENCE



- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM INLET BECOMES FUNCTIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN 1 FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40-SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM TOP OF THE FRAME TO 8 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

**MAINTENANCE**

EFFECTIVE STORM DRAIN INLET PROTECTION COLLECTS SEDIMENT AND THEREFORE MUST BE CLEANED REGULARLY TO PREVENT CLOGGING AND SUBSEQUENT FLOODING CONDITIONS, PIPING, OR OVERTOPPING OF THE CONTROL STRUCTURES. SEDIMENT BARRIERS THAT SAG, FALL OVER, OR ARE NOT PROPERLY SECURED, MUST BE PROMPTLY REPAIRED OR REPLACED.

INLET PROTECTION SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. AREAS WHERE THERE IS ACTIVE TRAFFIC SHALL BE INSPECTED DAILY. REPAIRS SHALL BE MADE AS NECESSARY TO ASSURE THE PRACTICE IS PERFORMING AS INTENDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION IS ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. SEDIMENT SHALL BE REMOVED AND PLACED IN A LOCATION WHERE IT IS STABLE AND NOT SUBJECT TO EROSION.

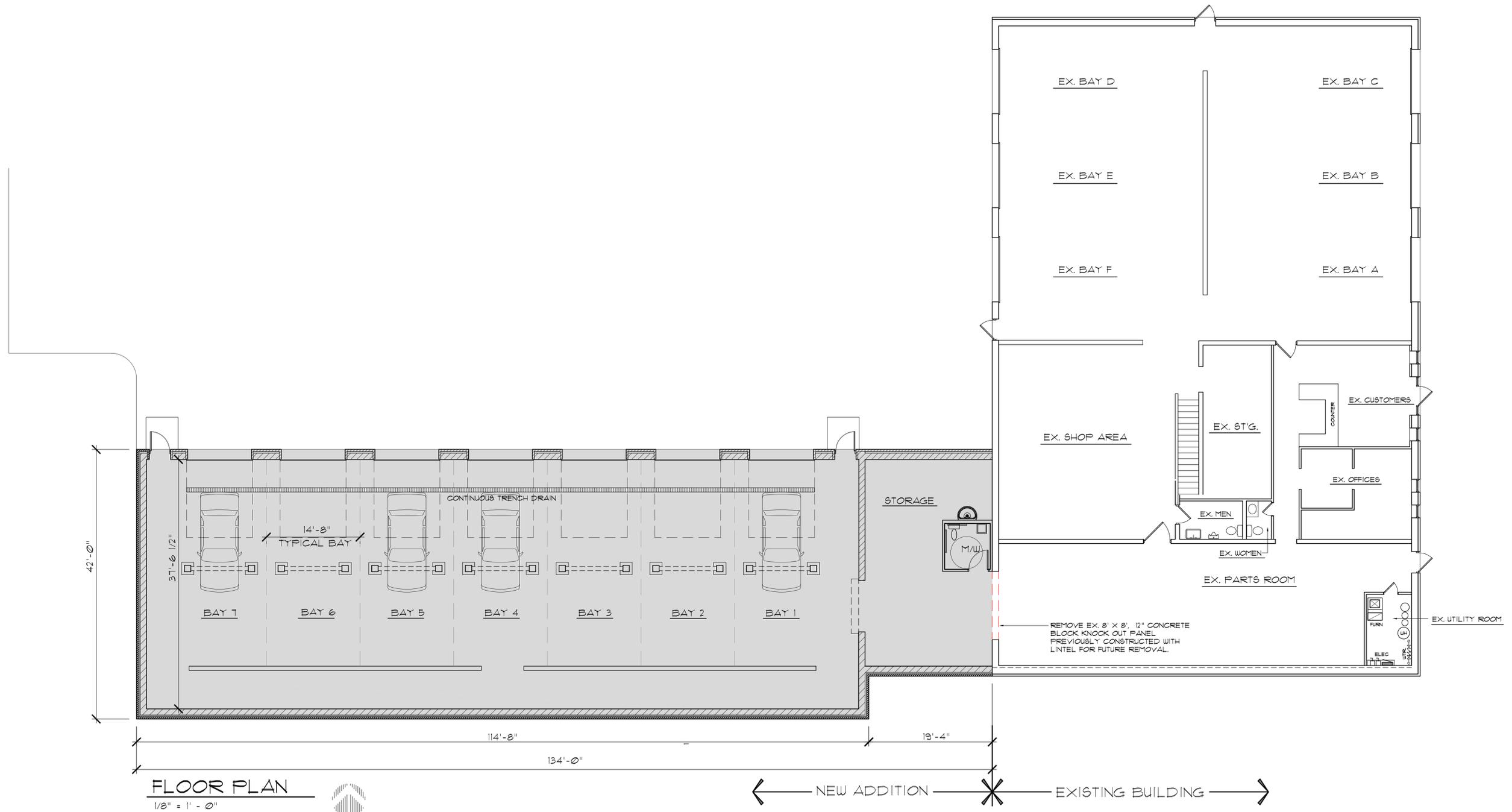
ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, ALL FILTER MATERIAL AND COLLECTED SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED.

(IP) SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION REFERENCE ONLY NOT TO SCALE





DAVID WILLIAM SMITH  
LICENSE NO. 8569  
EXPIRATION 12/31/25



**BUILDING ADDITION**  
 AUTOBAHN SERVICE CENTER, INC.  
 1330 S. CLEVELAND-MASSILLON ROAD  
 COPLEY, OHIO 44321  
**FLOOR PLAN**

**A R C H I T E C T**  
 David W. Smith, Architect, L.L.C.  
 1390 Partridge Lane  
 Akron, Ohio 44333 330.603.1207  
 dsarch@roadrunner.com

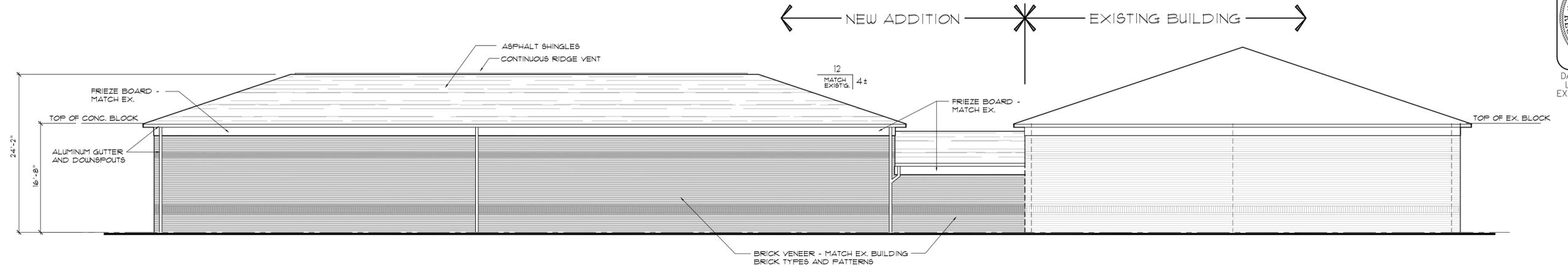
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A-2

1125

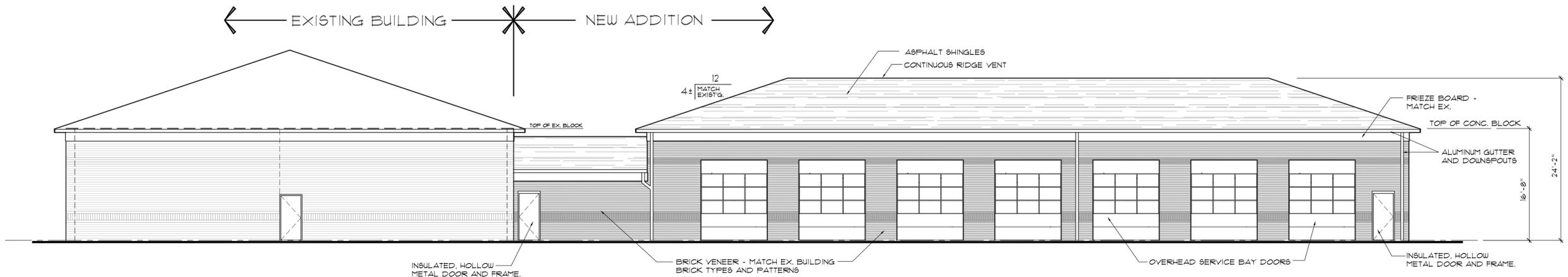


DAVID WILLIAM SMITH  
LICENSE NO. 8569  
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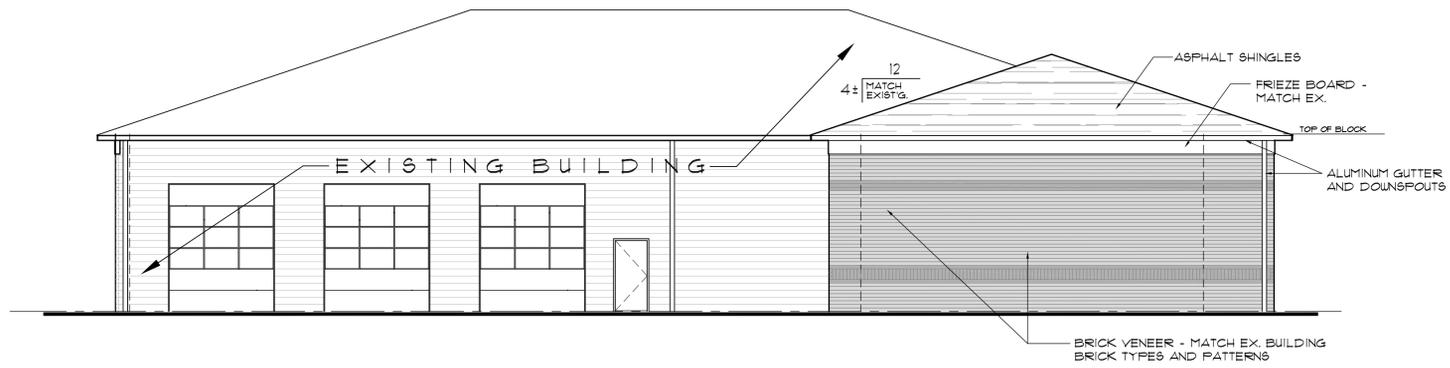
**SOUTH ELEVATION**

1/8" = 1' - 0"



**NORTH ELEVATION**

1/8" = 1' - 0"



**WEST ELEVATION**

1/8" = 1' - 0"

**BUILDING ADDITION ELEVATIONS**  
AUTOBAHN SERVICE CENTER, INC.  
1330 S. CLEVELAND-MASSILLON ROAD  
COPLEY, OHIO 44321

**ARCHITECT**  
David W. Smith, Architect, L.L.C.  
1390 Partridge Lane  
Akron, Ohio 44333 330.603.1207  
dsarch@roadrunner.com

12-4-25  
**A-3**

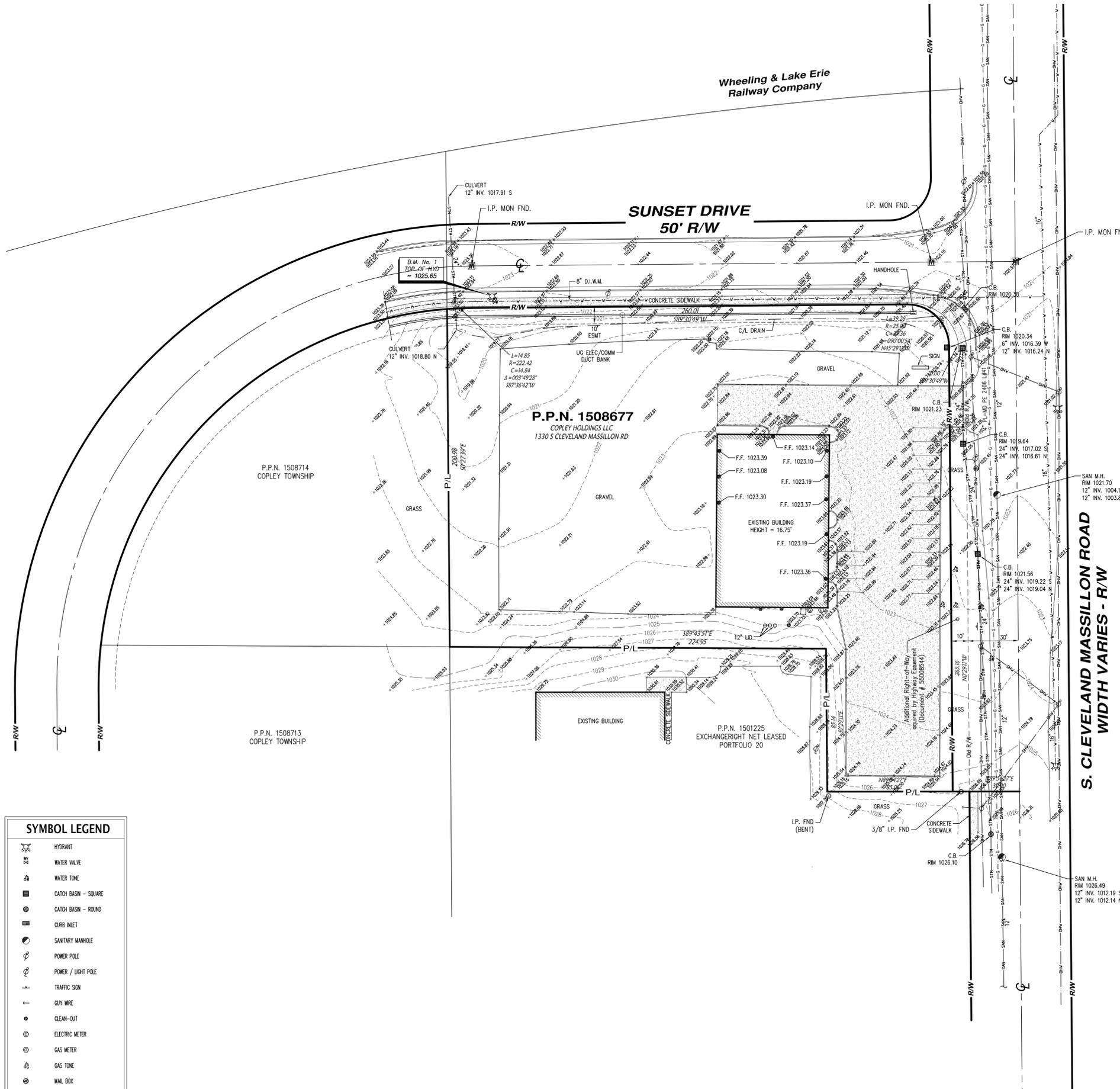
NOTES:

---XXXX--- EX. CONTOUR

BENCH MARKS:

BENCH MARK No. 1: TOP OF HYDRANT  
SOUTH SIDE OF SUNSET DRIVE  
NORTH OF SUBJECT PROPERTY  
ELEVATION = 1025.65 (NAVD88)

REVISIONS:



**SYMBOL LEGEND**

	HYDRANT
	WATER VALVE
	WATER TONE
	CATCH BASIN - SQUARE
	CATCH BASIN - ROUND
	CURB INLET
	SANITARY MANHOLE
	POWER POLE
	POWER / LIGHT POLE
	TRAFFIC SIGN
	GUY WIRE
	CLEAN-OUT
	ELECTRIC METER
	GAS METER
	GAS TONE
	MAIL BOX



Prepared by:  
**RIMKOLE & ASSOC. CORP.**  
SURVEY CONSULTANTS & ENGINEERS  
5316 Ridge Road - Cleveland, Ohio 44129  
Phone 440.885.7137 - Fax 440.885.7139  
www.kolesurvey.com

**TOPOGRAPHIC SURVEY**  
**P.P.N. 1508677**  
**1330 SOUTH CLEVELAND MASSILLON ROAD**  
SITUATED IN THE CITY OF AKRON, COUNTY OF SUMMIT AND STATE OF OHIO

**UNDERGROUND UTILITIES NOTE:**

The size and location, both horizontal and vertical, of underground utilities shown herein, have been obtained by a search of available records. Verification by field observation has been conducted where practical. However, Kole and Assoc. Corp., does not guarantee the completeness nor accuracy thereof.

**SURVEYOR'S CERTIFICATION:**

I, Richard J. Kole, do hereby certify that this survey was made on the ground under my supervision on August 22, 2025 and that it is true and correct to the best on my knowledge and belief.

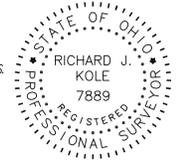
*Richard J. Kole* August 22, 2025  
Richard J. Kole, Reg. Surveyor #7889 Date

**BASIS OF BEARINGS:**

Slate Plane Grid North, NAD 83 (2011), Ohio North Zone. Tied by GNSS to O.D.O.T. VRS.

**VERTICAL DATUM:**

Navd 88, derived from GNSS observations through the O.D.O.T. VRS.



DATE:	AUG 21, 2025
SCALE:	1" = 30'
DRAWN BY:	R.D.S.
FILE NO.	25178 TOPO
SHEET 1 OF 1	

2/6/2024 #35847  
KRISTEN M. SCALISE CPA, CFE  
Summit County Fiscal Officer

VL

CP/331

Descriptions Approved by Tax Maps  
Approval Good for 30 Days From: 02/02/2024

\$                      \$                       
Fee Consideration

Transferred  
 Transfer Not Necessary

by                     , Deputy Fiscal Officer  
In compliance with ORC 219.202

**LIMITED WARRANTY DEED  
(R.C. 5302.07)**

**COPLEY HOLDINGS, LLC** an Ohio Limited Liability Company, ("Grantor"), claiming title through Instrument No. \_\_\_\_\_ of the Land Records of Summit County, Ohio grant(s) to **COPLEY HOLDINGS, LLC, an Ohio Limited Liability Company** ("Grantee"), whose tax mailing address is 1330 S. Cleveland-Massillon Road, Copley, OH 44321, does

**GIVE, GRANT, BARGAIN, SELL AND CONVEY** unto the said Grantee, its successors and assigns, all of Grantor's undivided interest in the following described premises:

See Exhibit A attached hereto

Parcel No. 1508677  
Routing No. CP00331C4001000  
For Informational Purposes Only: Containing 1.6046 acres of land.

Subject to: Easements, restrictions, reservations and agreements of record, zoning ordinances, and current taxes and special assessments.

**TO HAVE AND TO HOLD** the above premises, with the appurtenances thereunto belonging, unto the said Grantee, their successors and assigns forever.

**AND THE SAID GRANTOR** covenants with the Grantee, its successors and assigns, that the granted premises are free from all encumbrances made by the Grantor, and that it does warrant and will defend the same to the Grantee and its successors and assigns, forever, against the lawful claims and demands of all persons claiming by, through, or under the Grantor, but against none other. It is understood and agreed by the parties hereto that the title to the real estate herein conveyed is warranted only insofar as it might be affected by any act of Grantor during its ownership thereof and not otherwise.

SIGNED this 31<sup>st</sup> day of January 2024.

COPLEY HOLDINGS, LLC

  
LOUIE PEJNOVIC, MANAGER

STATE OF OHIO            )  
                                  ) SS  
SUMMIT COUNTY         )

The foregoing instrument was acknowledged before me this 31<sup>st</sup> day of January 2024 by LOUIE PEJNOVIC, Manager of Copley Holdings, LLC, an Ohio limited liability company.

  
Notary Public

DAVID L. FIRESTINE, Attorney-At-Law  
Notary Public - State of Ohio  
My Commission has no expiration date  
Sec. 147.03 R.C

This instrument prepared by:  
WITSCHHEY WITSCHHEY & FIRESTINE CO., LPA  
David L. Firestine, Esq.  
405 Rothrock Road, Suite 103  
Akron, Ohio 44321 (330) 665-5117  
cli.copleytownship.deeds.autobahn-2

M Copley Township  
1540 S Cleveland Massillon Rd  
Copley OH 44321

DOC # 56861518



**LEGAL DESCRIPTION**  
**1.6046 acres**

Situated in the Township of Copley, County of Summit, State of Ohio, Township 2 North, Range 21 West, part of Original Lot 23, and being a part of a parcel conveyed to Copley Holdings LLC (Document Number 56422148) and being more fully described as follows:

**COMMENCING** at a PK Nail set at the intersection of Copley Road (S.R. 162) and S. Cleveland Massillon Road (C.R. 17) (width varies);

Thence **North 00°29'11" West**, with the centerline of S. Cleveland Massillon Road, a distance of **877.87 feet**;

Thence **South 89°54'27" West**, a distance of **30.00 feet** to a northeasterly corner of a parcel conveyed to ExchangeRight Net Leased Portfolio 20 (Document Number 56365657) and the **TRUE PLACE OF BEGINNING**;

Thence **South 89°54'27" West**, with a northerly line of said ExchangeRight Net Leased Portfolio 20 parcel, a distance of **85.01 feet** to a northeasterly corner thereof and a 3/4" iron pin found, passing a 1/2" iron pin found with a cap marked "CHERMAK" at 5.00';

Thence **North 00°29'11" West**, with an easterly line of said ExchangeRight Net Leased Portfolio 20 parcel, a distance of **85.14 feet** to a northeasterly corner thereof, and a pin set;

Thence **North 89°43'51" West**, with a northerly line of said ExchangeRight Net Leased Portfolio 20, a distance of **224.95 feet** to the northwesterly corner thereof, the easterly line of a parcel conveyed to Copley Township Board of Trustees (Document Number 55646714) referenced by a 1" iron pin found North 89°43'15" West, 0.15 feet;

Thence **North 00°27'39" West**, with said easterly line of said Copley Township Board of Trustees parcel, a distance of **200.98 feet** to a pin set;

Thence through the lands of said Copley Holdings LLC parcel the following three (3) courses:

**Easterly, with a non tangent curve to the right, a distance of 14.85 feet with a chord bearing North 87°37'24" East, 14.84 feet, a radius of 225.00 feet, and having a central angle of 03°46'50" to a pin set;**

**North 89°30'49" East, a distance of 260.01 feet to a point of curvature and a pin set;**

**Southeasterly, with a curve to the right, a distance of 39.27 feet with a chord bearing South 45°29'11" East, 35.36 feet, a radius of 25.00 feet and a central angle of 90°00'00" to the westerly right-of-way line of S. Cleveland Massillon Road, and a pin set;**

Thence **North 89°30'49" East**, a distance of **10.00 feet** to a pin set;

Thence **South 00°29'11" East**, a distance of **265.16 feet** to the **TRUE PLACE OF BEGINNING** and containing **1.6046 acres**, more or less (1.5437 acres outside right-of-way & 0.0609 acres inside right-of-way) as surveyed by Steven W. Clutter, PS 7655, for and on behalf of CESO, Inc. in July 2023.

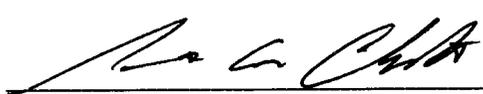
All deed references are from the Summit County Recorder's records.

The basis of bearings for this description is Ohio State Plane North Zone (NAD 83, 2011) derived from GPS Observations.

All pins set are 5/8" x 30" rebar with yellow cap marked CESO, Inc.



CESO, Inc.

 12/20/23  
Steven W. Clutter, PS Date  
Registered Surveyor No. 7655

DOC # 56861518



PN: 1508677

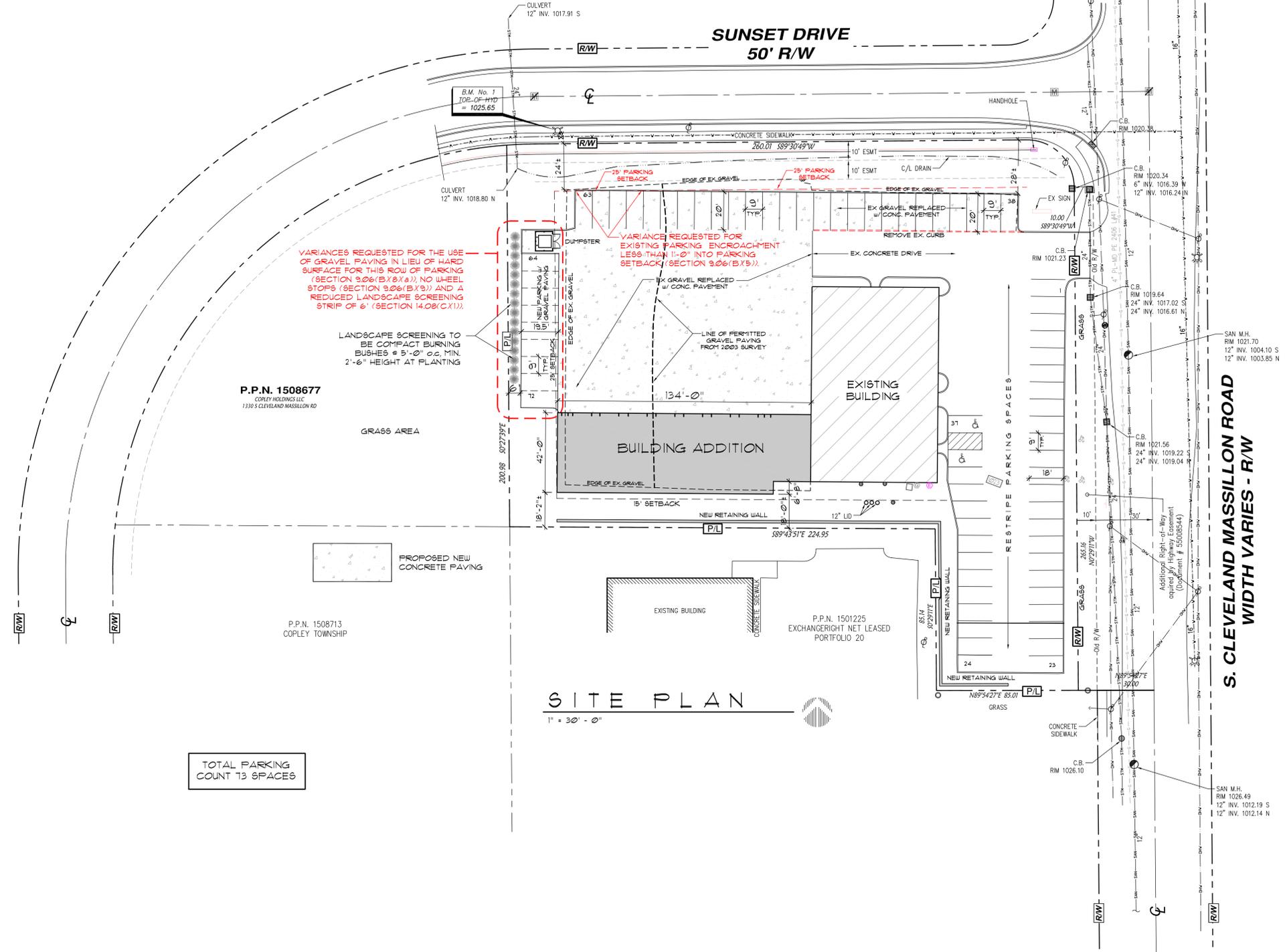
Rtg: CP00331C4001000



DAVID WILLIAM SMITH  
LICENSE NO. 8569  
EXPIRATION 12/31/25

LIST OF DRAWINGS	
A-1	SITE PLAN
A-2	FLOOR PLAN
A-3	ELEVATIONS
1	SURVEY

SITE DATA	
ZONING CLASSIFICATION:	I 1
SITE AREA:	134 ACRES
EX. BUILDING FOOTPRINT:	6,890 SF.
PROPOSED BUILDING ADDITION:	5,498 SF.
PROPOSED TOTAL NEW BUILDING FOOTPRINT:	12,388 SF.
EX. PARKING:	81 SPACES
PROPOSED PARKING:	72 SPACES



TOTAL PARKING  
COUNT 13 SPACES

**SITE PLAN**  
1" = 30' - 0"

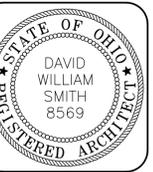
**BUILDING ADDITION**  
AUTOBAHN SERVICE CENTER, INC.  
1330 S. CLEVELAND-MASSILLON ROAD  
COPLEY, OHIO 44321  
**SITE PLAN**

**A R C H I T E C T**  
David W. Smith, Architect, L.L.C.  
1390 Partridge Lane  
Akron, Ohio 44333 | 330.603.1207  
dsarch@roadrunner.com

12-12-25

**A = 1**

1125



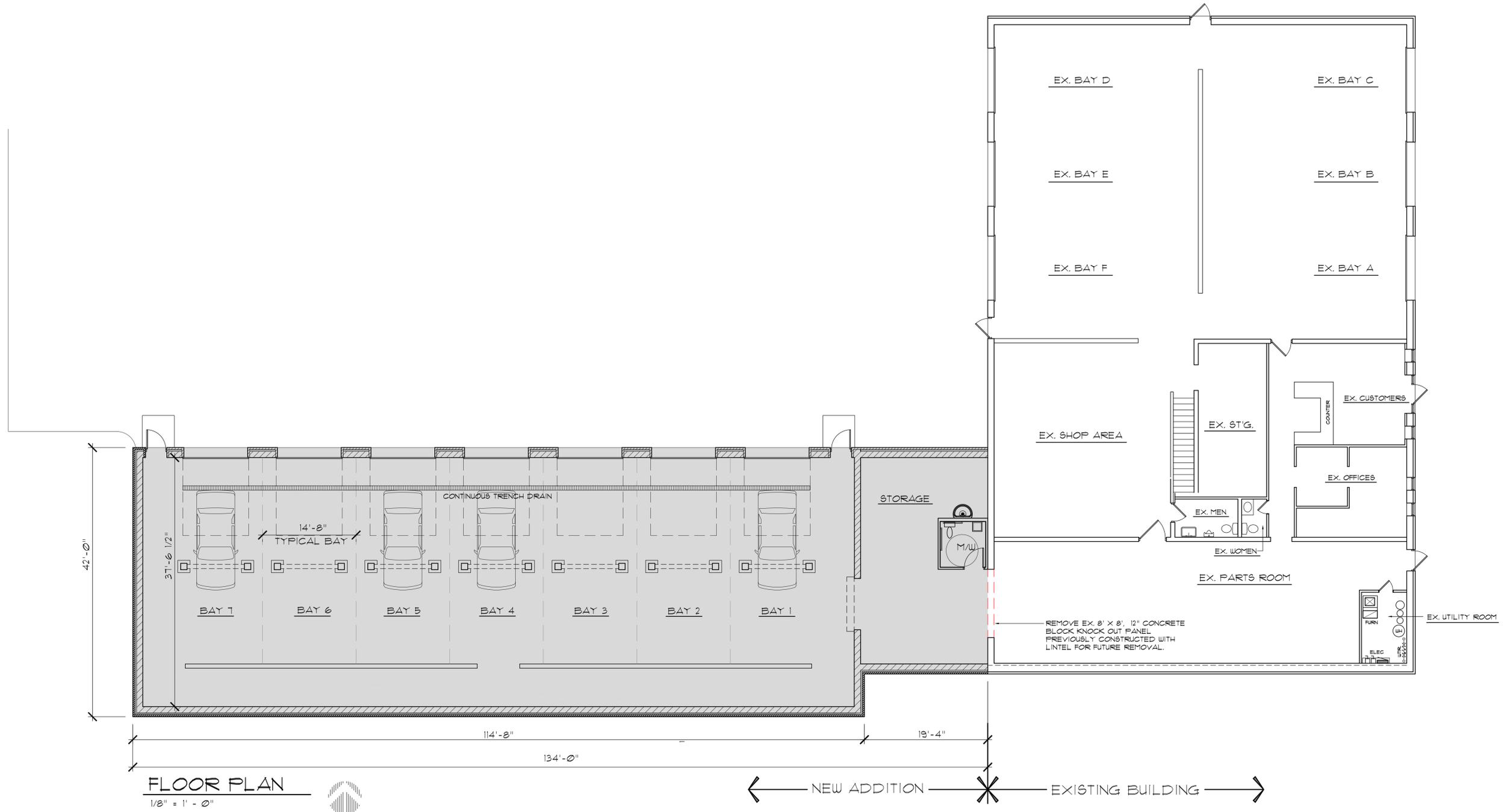
DAVID WILLIAM SMITH  
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**BUILDING ADDITION**  
AUTOBAHN SERVICE CENTER, INC.  
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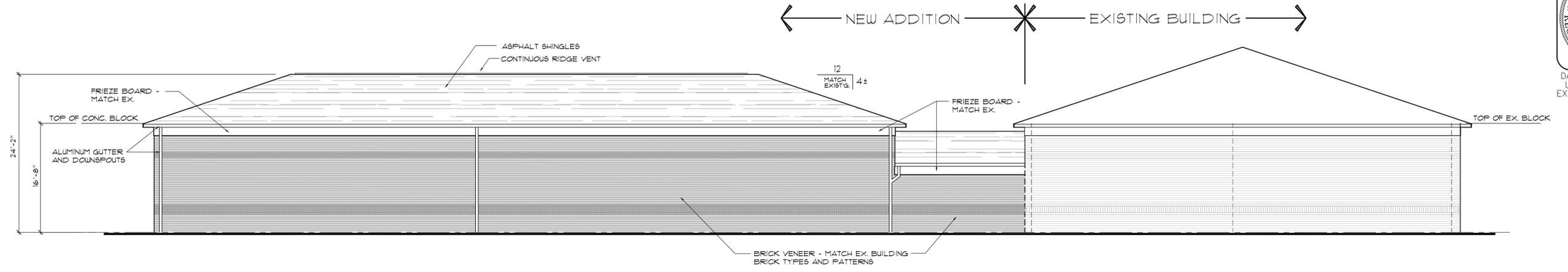
12-4-25  
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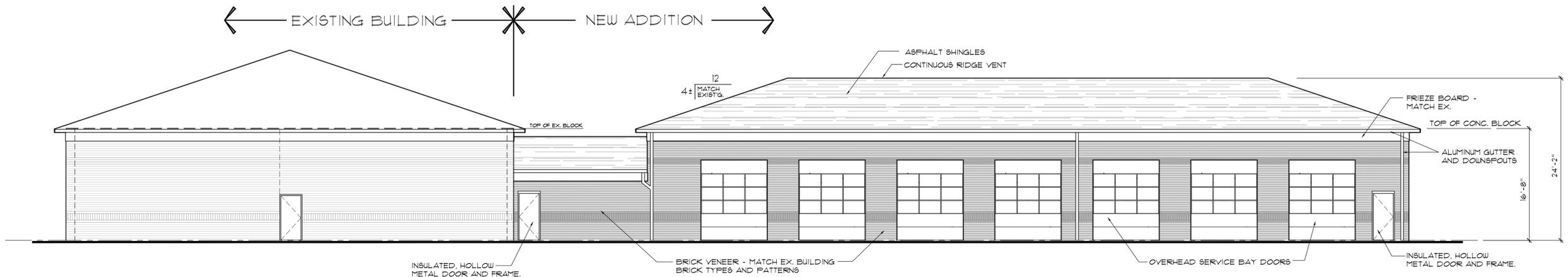


DAVID WILLIAM SMITH  
LICENSE NO. 8569  
EXPIRATION 12/31/25



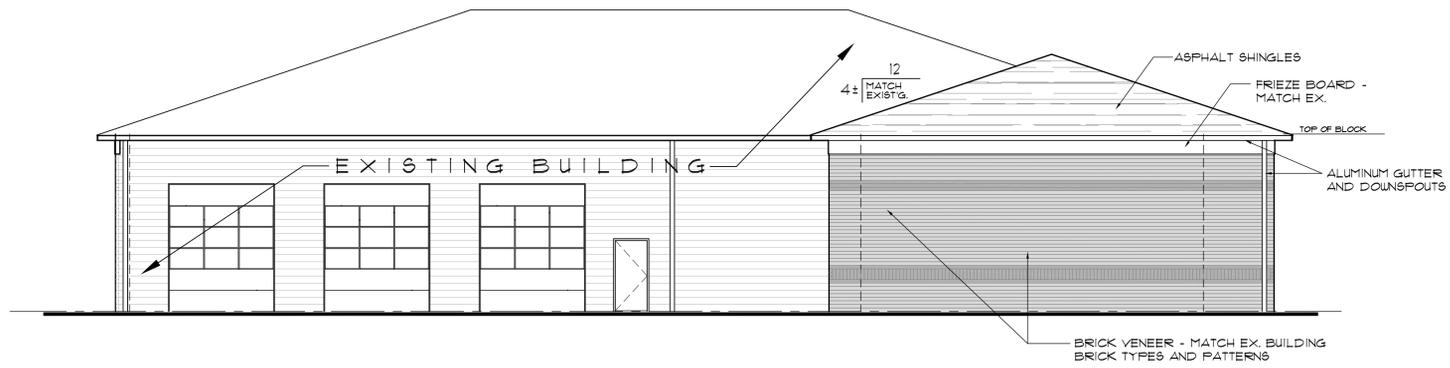
**SOUTH ELEVATION**

1/8" = 1' - 0"



**NORTH ELEVATION**

1/8" = 1' - 0"



**WEST ELEVATION**

1/8" = 1' - 0"

**BUILDING ADDITION ELEVATIONS**  
AUTOBAHN SERVICE CENTER, INC.  
1330 S. CLEVELAND-MASSILLON ROAD  
COPLEY, OHIO 44321

**ARCHITECT**  
David W. Smith, Architect, L.L.C.  
1390 Partridge Lane  
Akron, Ohio 44333 330.603.1207  
dsarch@roadrunner.com

12-4-25

A-3

1125



COPLEY TOWNSHIP  
 SITE PLAN REVIEW  
 MAJOR SITE PLAN/VARIANCE  
 1330 S CLEVELAND MASSILLON RD  
 STAFF REPORT



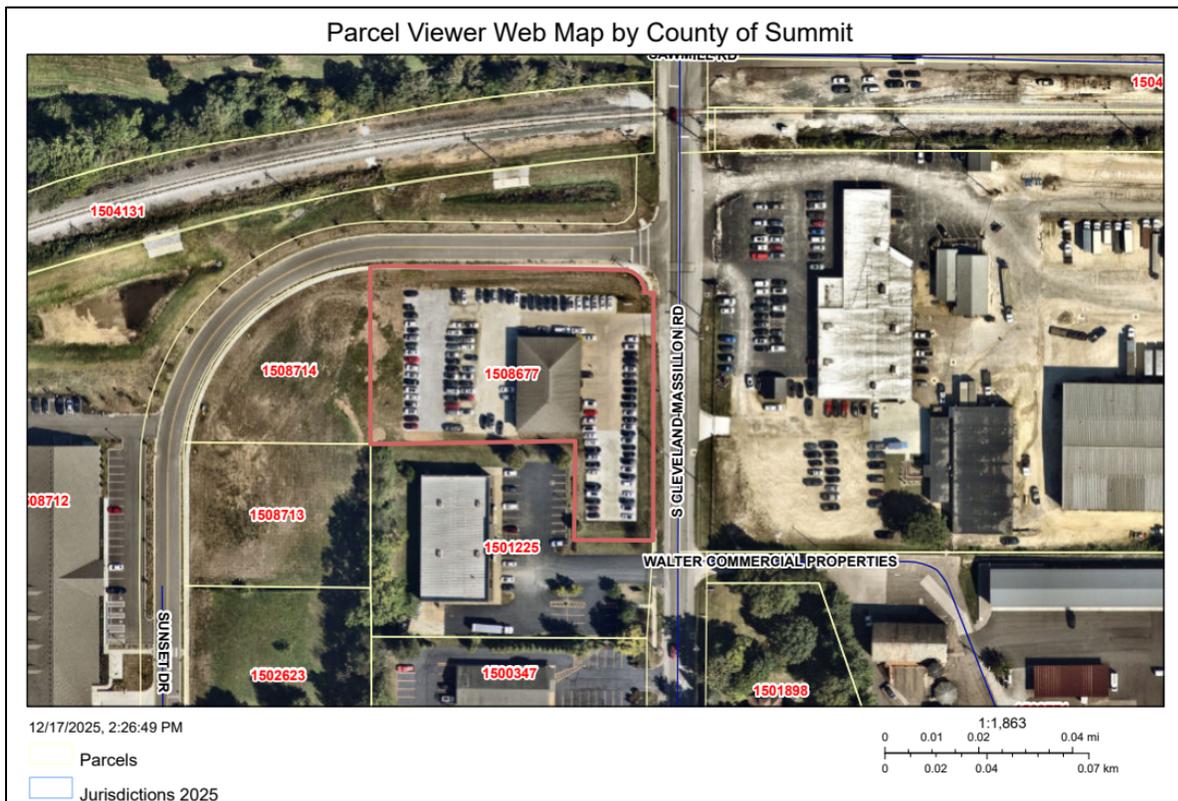
January 5, 2026

<b>PROJECT: Autobahn Service Center</b>	
<b>PPN: 1508677</b>	<b>APPLICATION TYPE: Major Site Plan/Variance</b>
LANDOWNER	Copley Holdings LLC
APPLICANTS	David W Smith, Architect LLC
COMPANY PERFORMING WORK REQUESTED	Weber Engineering
INVESTMENT	\$1,400,000
APPLICATION SUMMARY	<i>Applicant, David W Smith, on behalf of Autobahn Service Center, is requesting Site Plan and variance approvals for a commercial addition and parking lot improvements.</i>
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Section 5.01-I Industrial Sections- 9.06 5., 8 a., 9. Parking Construction, Wheel stops & Setbacks Section 13.01 F-Site Plan Review Article 14-Landscaping, Buffering and Screening
GENERAL LOCATION	The parcel is located on the corner of Sunset Drive and S Cleveland Massillon Road
LAND AREA	1.8 Acres
ZONING	Industrial (I)
ARCHITECTURAL REVIEW BOARD	January 5, 2026

BOARD OF ZONING APPEALS	January 14, 2026
EXTERNAL AGENCY REVIEW	Summit County Engineer Summit Soil & Water Conservation District
STAFF COMMENTS	New right-of-way on Sunset Drive Detention under review Recent consolidation of parcels

## PROPERTY LOCATION

SITE	ZONING	LAND USE
North	Industrial	Railroad
South	C-GR	Commercial
East	Industrial	Vacant
West	Industrial	Industrial (Lumber)



# PROJECT DESCRIPTION

Applicant, David W Smith, on behalf of Autobahn Service Center, is requesting Site Plan and variance approvals for a commercial addition and parking lot improvements.

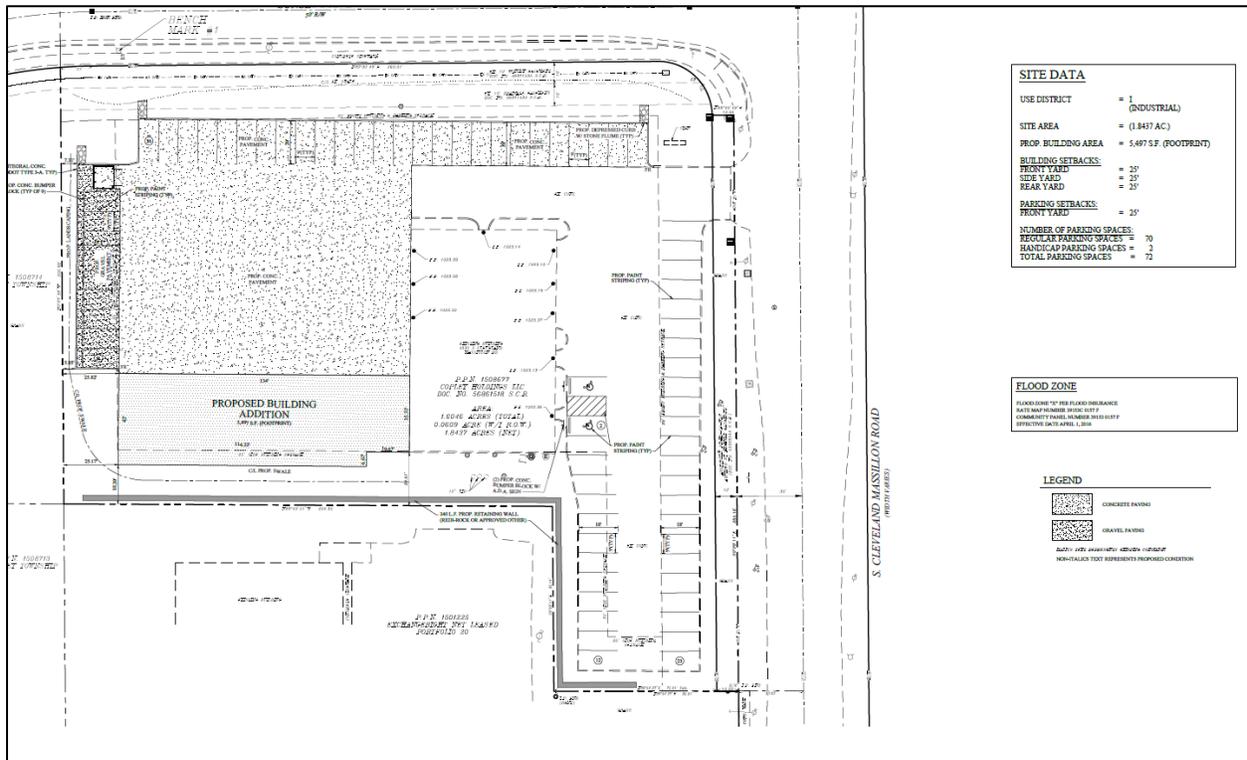
The proposed addition is located to the rear of the main building.

The existing building is 6,890 square feet in overall area.

The addition is 42' x 134' (5,497 square feet in overall area) for a total new building footprint of 12,389 square feet in overall area.

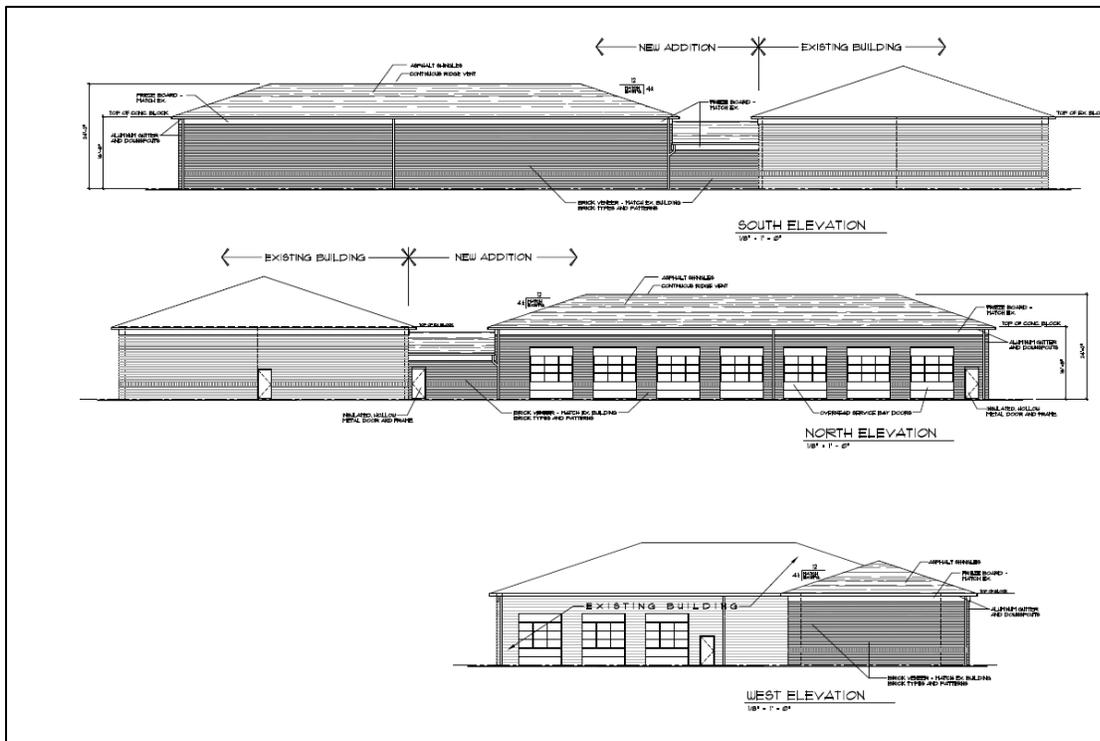
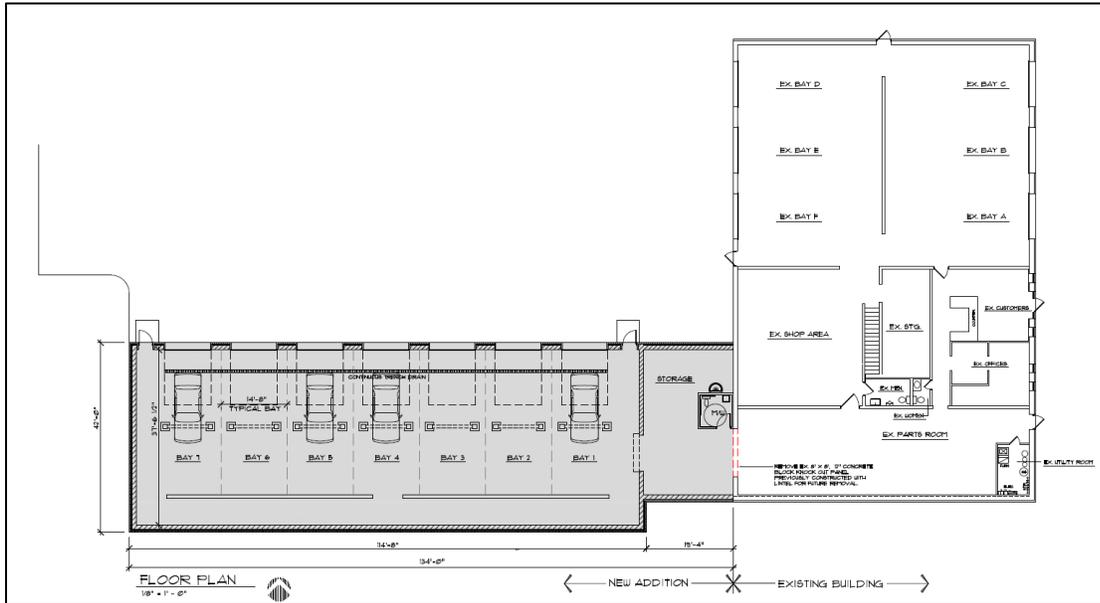
## Overall updates are inclusive of:

- Seven (7) new service bays
- New storage area
- Replacement of gravel parking areas with concrete pavement
- Restripe of existing parking spaces
- Brick veneer & asphalt shingles to match existing building
- Overhead Service Bay doors





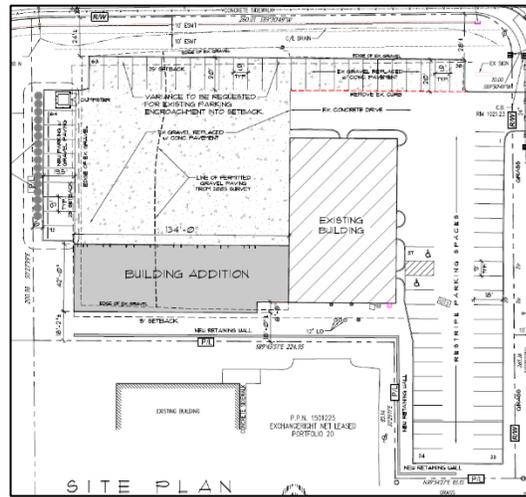
# ELEVATIONS



## PARKING STANDARDS-Variance Required

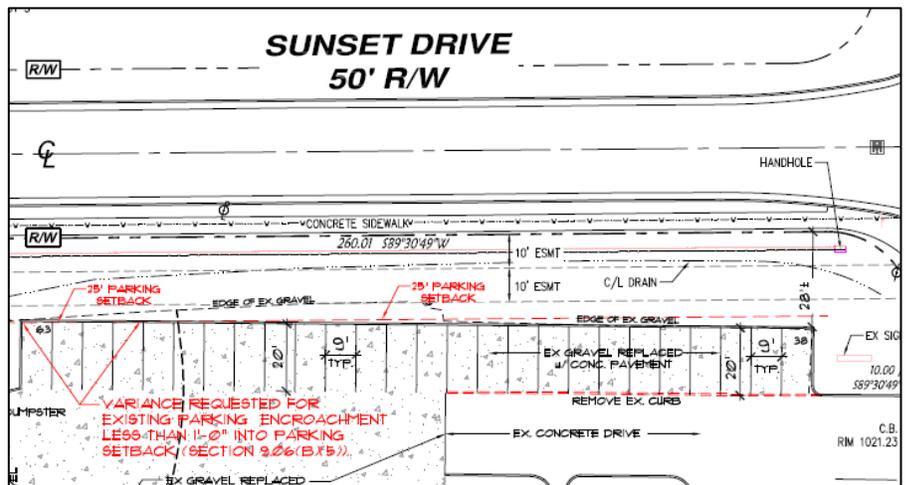
The applicant plans to reconfigure the existing parking lot which will result in a reduction of 9 parking spaces and an increase of 1,600 square feet of new impervious surface for the proposed lot along the western side yard property line.

- Existing parking
  - 81 spaces
- Permitted parking
  - 72 spaces per Copley Township Board of Trustees development agreement for Sunset Drive
- Proposed parking
  - 72 spaces
  - Recommend removal of space 1



**VARIANCE 1: Reduction in the required parking setback (Sunset Drive)**

Per Article 9, Section 9.06, 5. Yard Requirements. Subject to the limitations of Section 9.06 B. 2. a., off-street parking spaces may occupy all or any part of any required side or rear yard. However, in no event, shall any required front yard or the side yard along the side street in the case of a corner lot be occupied by such parking space.



**Request: Variance to encroach into the 25' front yard setback by 1'**

**VARIANCE 2: Parking Surface**

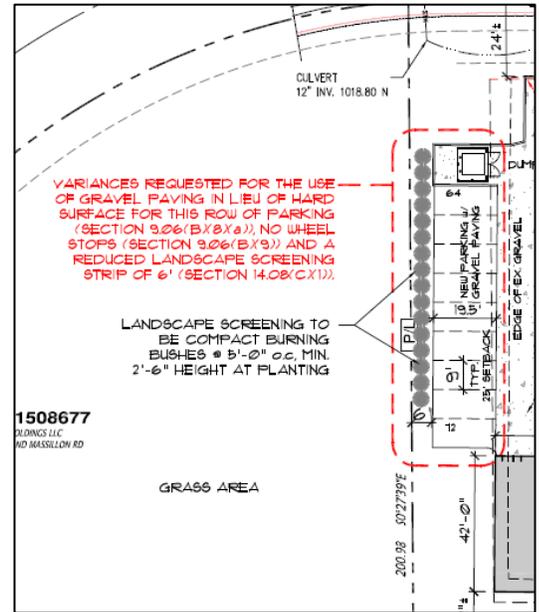
**Per Article 9, Section 9.06 8. a.** Required parking spaces, access drives, and loading areas shall be paved and maintained with concrete, asphalt, or similar material of sufficient thickness and consistency to support anticipated traffic volumes and weights.....

**Request: Variance to maintain gravel surface for parking area along the western property line**

**VARIANCE 3: Wheelstops**

**Per Article 9, Section 9.06 9.** Wheel Stops. Whenever a non-residential parking area extends to a lot line, sidewalk, planter strip or building, a wheel stop device consisting of blocks, a permanent curb, expanded sidewalk or other suitable restraint shall be installed. The minimum height of a wheel stop device shall be five (5) inches and the minimum distance from a wheel stop device to a property line or protected area shall be two (2) feet six (6) inches.

**Request: Relief from section 9.06 9. No wheel stops**



**2024 parking was installed per a development agreement with Copley Township. At that time, 20 spaces were constructed in the southeastern portion of the property and 12 spaces were constructed along the northern property line.**

**At that time, six deciduous trees were to be planted along the northern property line (south side of Sunset Drive). However, due to suitable planting areas available, the trees were planted on the north side of Sunset Drive.**

**There were no landscape islands installed and no parking perimeter landscaping.**



**LANDSCAPE REQUIRMENTS:**

Per Article 14, Landscaping, Buffering and Screening

Section 14.08 C. 1. Parking lots shall have a perimeter landscaping of a minimum width of 10' exclusive of vehicle overhang. 2. 2. This perimeter landscaping shall contain sufficient plant material that will achieve an effective, year-round opaque screen of a height of at least three feet within (2) years of installation. The perimeter buffer zone shall also contain deciduous trees and allow adequate snow storage area.

**ARB APPROVED: Reduce required perimeter landscaping along western property line from 10' to 6':**

Section 14.06-Building Façade Landscaping the applicant is required to provide landscape at least 75% of the building façade to include at minimum of 3 trees for every 100 lineal feet. At 60' of building frontage, the applicant is required to install 2 trees.

**ARB APPROVED: Accept Sunset Drive plantings to satisfy requirement for building façade landscaping**

Per Article 14- Section 14.08-Screening and Landscaping of Parking Lots the applicant is required to have one landscape island for every 10 spaces including one tree per island and 10 feet of perimeter landscaping.

**ARB APPROVED: Waive landscape island requirement for previously installed parking spaces.**

## DEPARTMENT & AGENCY COMMENTS

<b>Copley Township Architectural Review Board</b>	Recommend approval of Site Plan & Variances as required
<b>Copley Township Fire Department</b>	No objections
<b>Copley Township Service Department</b>	No objections
<b>Copley Township Police</b>	No objections
<b>Summit County Engineers Office</b>	Detention/runoff calculations under review.
<b>Summit County Soil &amp; Water Conservation District</b>	Detention/runoff calculations under review.
<b>Copley Township Department of Community &amp; Economic Development</b>	Complimentary addition to an industrial building. Support improvements and review which brings the site into compliance.

## SUGGESTED MOTION FOR CONSIDERATION

### ARCHITECTURAL REVIEW BOARD

On January 5, 2026 the Copley Township Architectural Review Board motioned to approve the applicants Major Site Plan application inclusive of the following conditioned upon receipt of variances and jurisdictional approvals.

1. *Reduction in the parking landscape buffer along with western property line from 10' to 6' and waiver of buffer for previously installed parking spaces in 2024.*
2. *Accept Sunset Drive plantings to satisfy requirement for building façade landscaping*
3. *Waive landscape island requirement for previously installed parking spaces in 2024*

On January 5, 2026 the Copley Township Architectural Review Board motioned to recommend approval of the following variances to the Board of Zoning Appeals

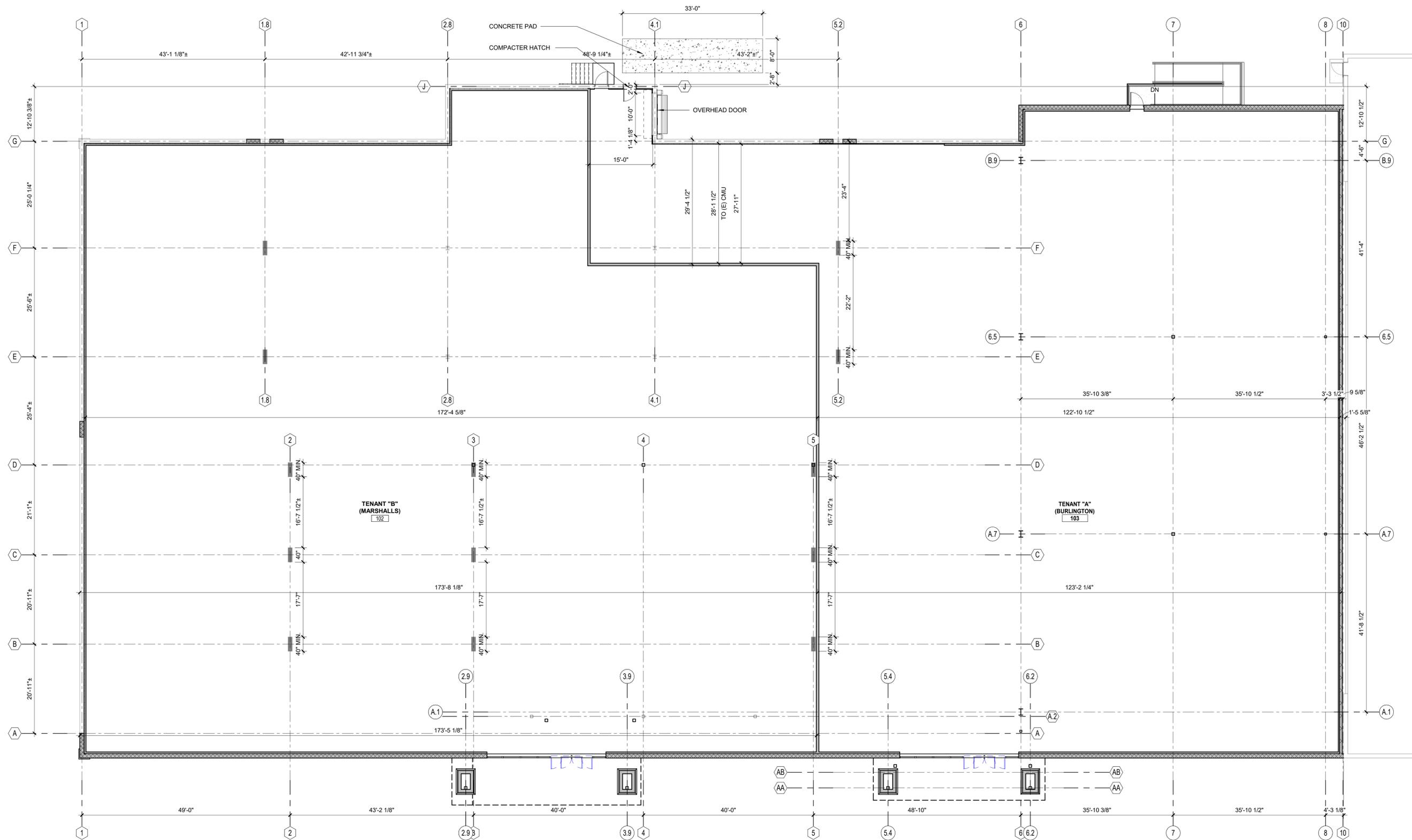
1. Section 9.06 5. Variance to encroach 1' into the required 25' front yard setback along Sunset Drive
2. Section 9.06 B. a. Variance to maintain gravel surface for parking area along the western property line
3. Section 9.06 9. Relief from requirement to utilize wheel stops for parking area along western property line

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## **BOARD OF ZONING APPEALS**

The **Copley Township Board of Zoning Appeals** motions to (approval/approval with conditions/deny) the applicants variance requests as follows.

1. Section 9.06 5. Variance to encroach 1' into the required 25' front yard setback along Sunset Drive
  2. Section 9.06 B. a. Variance to maintain gravel surface for parking area along the western property line
  3. Section 9.06 9. Relief from requirement to utilize wheel stops for parking area along western property line
- Staff Comments:
    - Parking area is not utilized for typical customer parking which results in less frequent cars pulling in and out of the space; area not near sidewalk or public right of way
    - Conditioned upon agency review and approval
    - Remove parking space at entrance

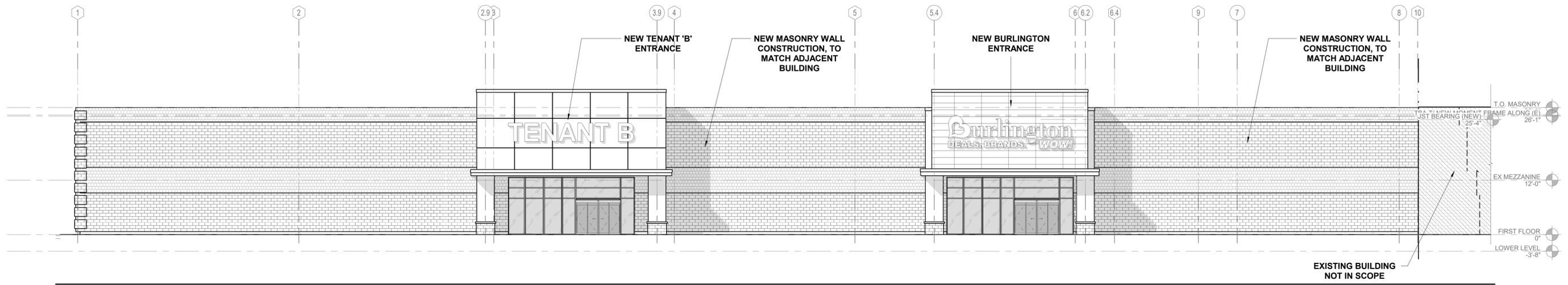


FIRST FLOOR PLAN  
 3/32" = 1'-0"

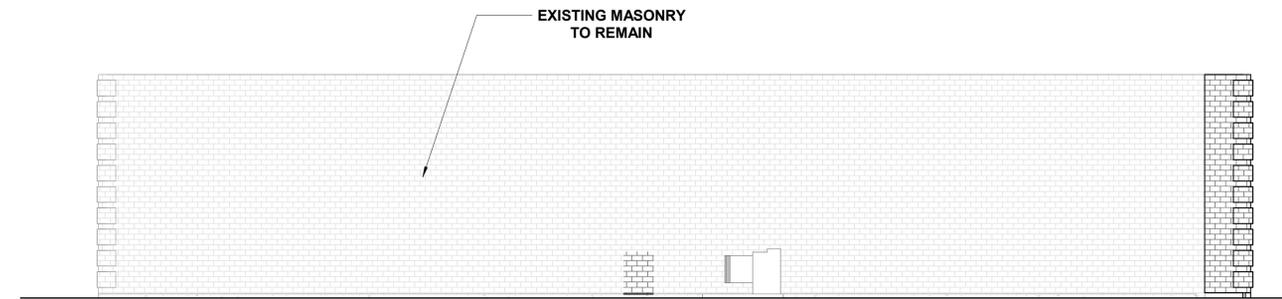
# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
 SCHEMATIC DESIGN FLOOR PLAN | 12.5.2025

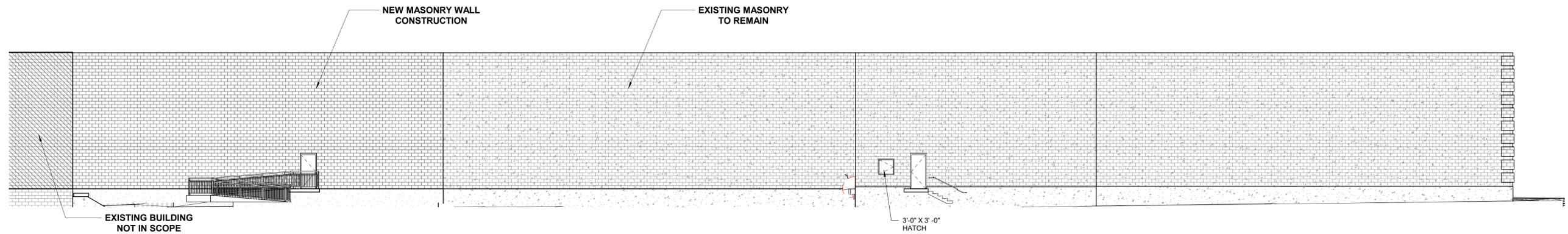




**EXTERIOR ELEVATION**  
3/32" = 1'-0"



**EXTERIOR ELEVATION**  
3/32" = 1'-0"

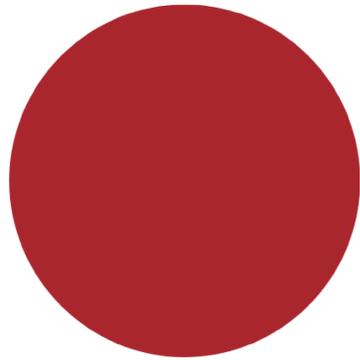


**EXTERIOR ELEVATION**  
3/32" = 1'-0"

# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN ELEVATION | 12.5.2025

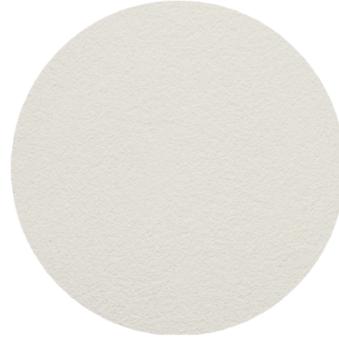




NICHIHA ILLUMINATION PANEL : CUSTOM BURLINGTON RED



ALUCOBOND EYEBROW CANOPY PROJECTION



EIFS, SW7009 PEARLY WHITE



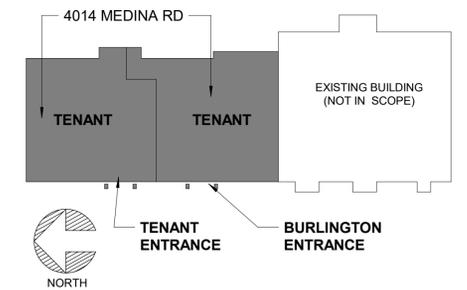
EXISTING PHOTO



ENLARGED EXTERIOR ELEVATION - FRONT FACADE  
1/4" = 1'-0"

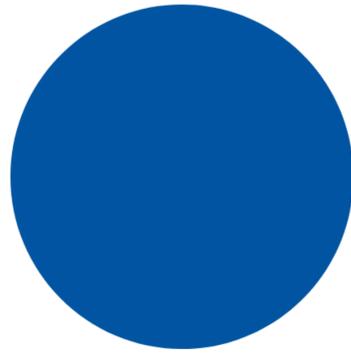


3D View 2



# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN RENDERS | 12.5.2025



SIGNAGE, PARAPET, TRIM; ORACAL 7500 #006 INTENSE BLUE



EIFS WHITE; SW7006 EXTRA WHITE



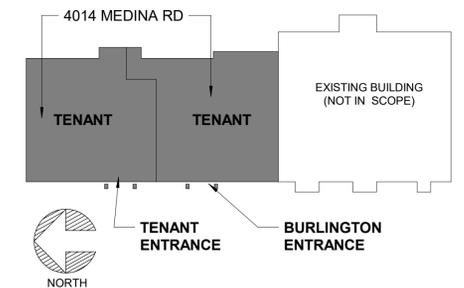
EXISTING PHOTO



EXTERIOR ELEVATION - FRONT FACADE - TENANT B  
1/4" = 1'-0"



3D View 3



# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN RENDERS | 12.5.2025



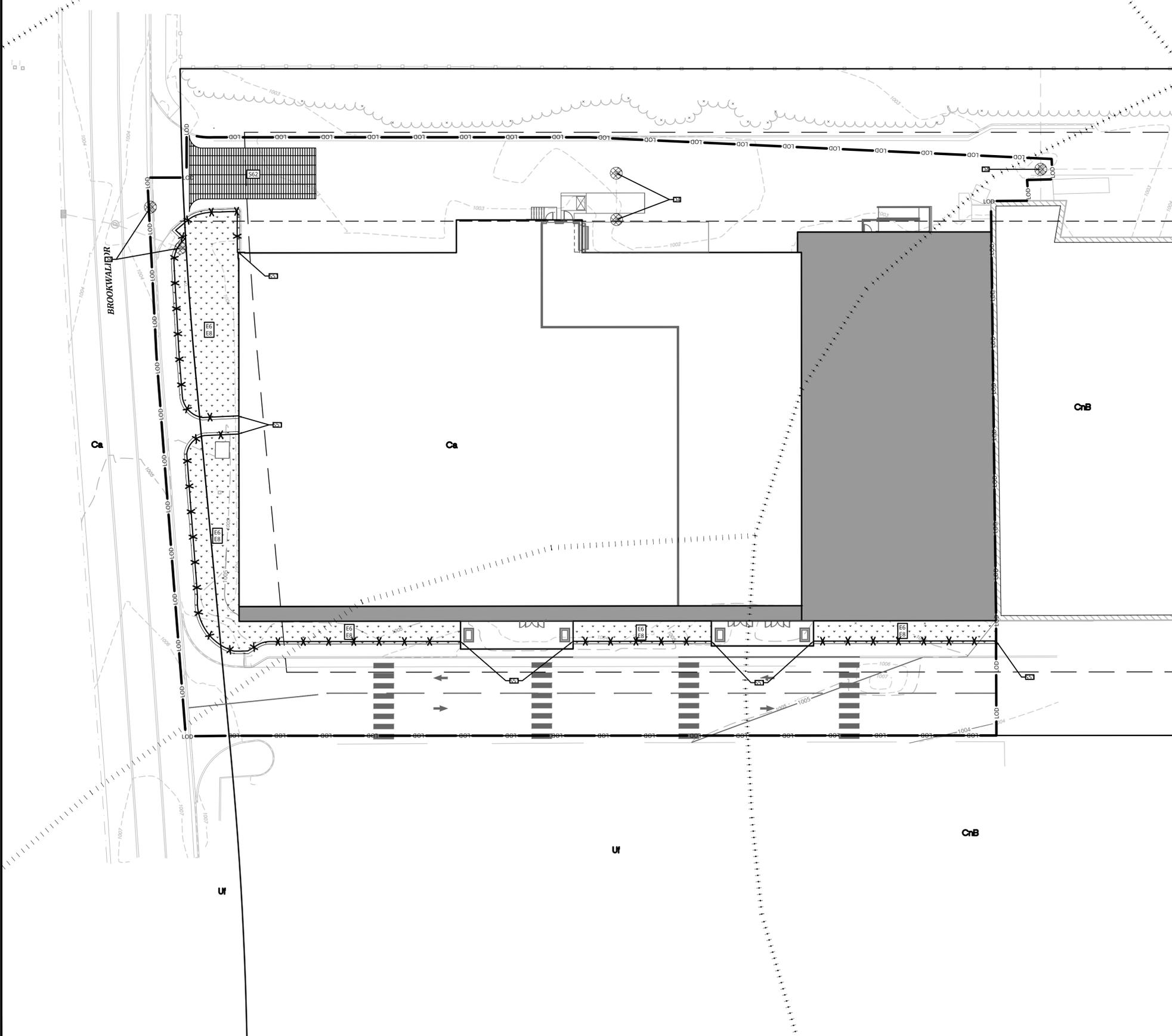
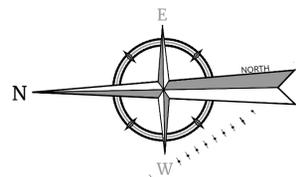












**SESC KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
D4	DANDY BAG		Use of stormwater inlets, especially at construction sites.
E6	MULCH		For use in areas subject to erosive surface flows or severe wind or on newly seeded areas.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S62	TRACKOUT CONTROL MAT		Use to provide site access while minimizing sediment leaving the site.

**SESC LEGEND:**

- S53 REFERS TO THE APPROPRIATE S.E.S.C. KEYING SYSTEM DETAIL.
- LOD LIMITS OF EARTH DISTURBANCE (1.76 ACRES)
- SILT FENCE
- S.E.S.C. SOIL BOUNDARY
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- PROPOSED SEED AREA

**SOIL TYPES:**

- Ca** CANADIS SILTY CLAY LOAM
- CrB** CHIU LOAM, 2 TO 6 PERCENT SLOPES
- Uf** UDORTHENTS, SANITARY LANDFILL

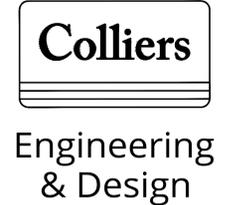
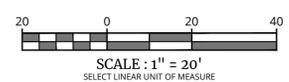
**SEQUENCE OF CONSTRUCTION NOTES:**

- NOTE: THIS TEXT IS NOT INTENDED TO DICTATE A METHODS AND MEANS TO THE CONTRACTOR. IT IS THE SUGGESTED PROCESS FOR CONSTRUCTION ACTIVITIES IN ORDER TO MINIMIZE THE AMOUNT OF SOIL EROSION TO THE SITE AND TO COMPLY WITH THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. AS PART OF THE PERMIT CONDITIONS, THE CONTRACTOR WILL BE HELD TO THIS SCHEDULE AND TO THE SOIL EROSION PLAN. IF THE CONTRACTOR SEES FIT, HE OR SHE MAY AMEND THIS SCHEDULE AND/OR PLAN, BUT A REVISED WRITTEN SEQUENCING SCHEDULE AND/OR SOIL EROSION PLAN MUST BE SUBMITTED TO SUMMIT COUNTY FOR APPROVAL PRIOR TO DEVIATING FROM THIS SCHEDULE AND/OR PLAN.
- STEP 1: IMPLEMENTATION MEETING
  - STEP 2: INSTALL PERIMETER CONTROLS
  - STEP 3: BEGIN CLEARING AND GRUBBING THE SITE
  - STEP 4: ROUGH GRADING, STRIPPING AND STOCKPILING TOPSOIL. AREAS THAT WILL NOT BE FURTHER DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE IMMEDIATELY SEEDED WITH MULCH. EXCESS MATERIAL SHALL EITHER BE STOCKPILED IN THE AREAS SHOWN ON THE DRAWINGS, LEVELED ON SITE, OR DISPOSED OF OFF-SITE IN A LEGAL MANNER. STOCKPILES SHALL BE TEMPORARILY STABILIZED WITH SILT FENCE AND/OR TEMPORARY SEEDING.
  - STEP 5: UNDERGROUND UTILITIES. EXCAVATED MATERIAL FOR UTILITIES SHALL EITHER BE STOCKPILED, LEVELED ON SITE, OR DISPOSED OF OFF-SITE IN A LEGAL MANNER.
  - STEP 6: INSTALL INLET PROTECTION MEASURES AT STORM SEWER INLETS AS EACH INLET STRUCTURE IS INSTALLED
  - STEP 7: BUILDING CONSTRUCTION INCLUDING FOUNDATIONS
  - STEP 8: FINAL GRADING (1): AREAS OUTSIDE THE INFLUENCE OF FURTHER CONSTRUCTION ACTIVITIES SHALL BE FINAL GRADED AND STABILIZED WITH PERMANENT SEED AND MULCH.
  - STEP 9: PAVING.
  - STEP 10: FINAL GRADING (2): ALL REMAINING AREAS SHALL BE SEEDED AND MULCHED WITHIN 5 DAYS OF FINAL GRADING.
  - STEP 11: TEMPORARY SOIL EROSION CONTROL MEASURES ARE TO BE REMOVED WHEN PERMANENT MEASURES ARE IN PLACE AND THE AREA IS STABILIZED.
  - STEP 12: CLEAN OUT POST-CONSTRUCTION BMPs AFTER FINAL SITE STABILIZATION.
  - STEP 13: UPON APPROVAL, SUBMIT THE NOTICE OF TERMINATION TO THE PERMITTING AGENCY.

CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE OWNER. MAINTENANCE RESPONSIBILITIES SHALL BECOME A PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE LOCATED.

**SESC NOTES:**

1. CONTRACTOR IS TO CONTACT THE SUMMIT COUNTY OFFICE AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SOIL EROSION CONTROL MEASURES DURING CONSTRUCTION. SESC MEASURES SHOULD BE CHECKED DAILY AND AFTER STORM EVENTS FOR EFFECTIVENESS. OWNER SHALL MAINTAIN ALL PERMANENT SESC MEASURES AFTER CONSTRUCTION IS COMPLETE. ALL SESC MEASURES SHALL BE CHECKED MONTHLY FOR ONE YEAR FOR EFFECTIVENESS. ANY MEASURES THAT HAVE FAILED SHALL BE REPAIRED AND/OR REPLACED.
3. ALL TEMPORARY S.E.C. MEASURES SHALL BE MAINTAINED 30 DAYS AFTER CONSTRUCTION IS COMPLETE OR UNTIL GRADED AREAS ARE STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING TEMPORARY SESC MEASURES.
4. ALL GRADED AREAS EXPOSED FOR MORE THAN 30 DAYS SHALL HAVE STRAW MULCH APPLIED AT THE RATE OF 3 TONS / ACRE. AREAS NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN ONE YEAR MUST BE SEEDED AND MULCHED WITH QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. AREAS WHICH ARE AT FINISHED GRADE AND WILL NOT BE DISTURBED FOR A YEAR MUST BE SEEDED AND MULCHED WITH A PERMANENT SEED MIXTURE.
5. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE FOR GRADING AND TO CONSTRUCT SEDIMENT BASINS, SEDIMENT TRAPS, DIVERSION TERRACES, INTERCEPTOR CHANNELS, AND/OR CHANNELS OF CONVEYANCE AS APPROPRIATE.
6. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITH THE TRIBUTARY AREAS OF THOSE CONTROLS.
7. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL ON A DAILY BASIS AND AFTER EACH STORM EVENT. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
8. CONTACT INFORMATION FOR THE ON-SITE EXCAVATING CONTRACTORS, HAULING CONTRACTORS, ETC., PERSON AND COMPANY, INCLUDING OFFICE, MOBILE AND FAX PHONE NUMBERS, SHALL BE SUBMITTED TO THE SUMMIT COUNTY PRIOR TO COMMENCEMENT OF EARTH DISTURBANCE.
9. APPROVAL OF THE SOIL EROSION PERMIT DOES NOT AUTHORIZE ANY EARTH DISTURBANCE ACTIVITY OFF-SITE WITHOUT WRITTEN PERMISSION FOR THAT EARTH DISTURBANCE ACTIVITY FROM THE LANDOWNER.
10. NO DEWATERING IS PLANNED FOR THIS PROJECT. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR APPROVAL TO THE SUMMIT COUNTY OFFICE AND/OR THE OHIO EPA AS REQUIRED. NO DEWATERING SHALL COMMENCE UNTIL APPROVAL HAS BEEN OBTAINED.



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REV	DATE	DESCRIPTION

**PROTECT YOURSELF**  
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

**811**  
 Call before you dig.  
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

**BURLINGTON&ROSS**  
**TURNKEY FIT OUT**

MAJOR SITE PLAN  
 PARCEL ID#1507082

**BURLINGTON**  
**RENOVATION PROJECT**

4020 MEDINA ROAD  
 FAIRLAWN  
 SUMMIT COUNTY, OHIO

TOLEDO (BA)  
 3410 Briarfield Blvd  
 Suite C  
 Maumee, OH 43537  
 Phone: 567.318.1531  
 COLLIER ENGINEERING & DESIGN, INC.

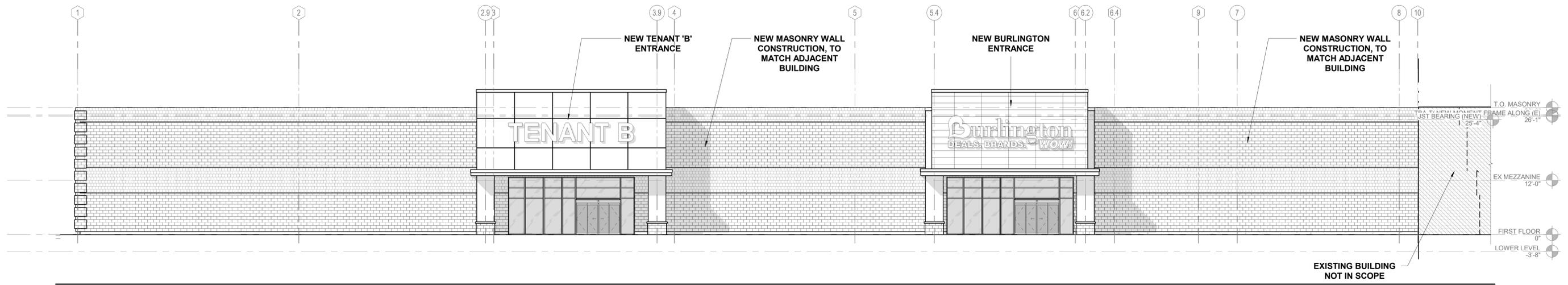
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AS SHOWN	HMK
DESIGNED BY:	REVIEWED BY:
HMK	DJF
DATE ISSUED:	PROJECT NUMBER:
11/03/2025	25004311A

SHEET NAME:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

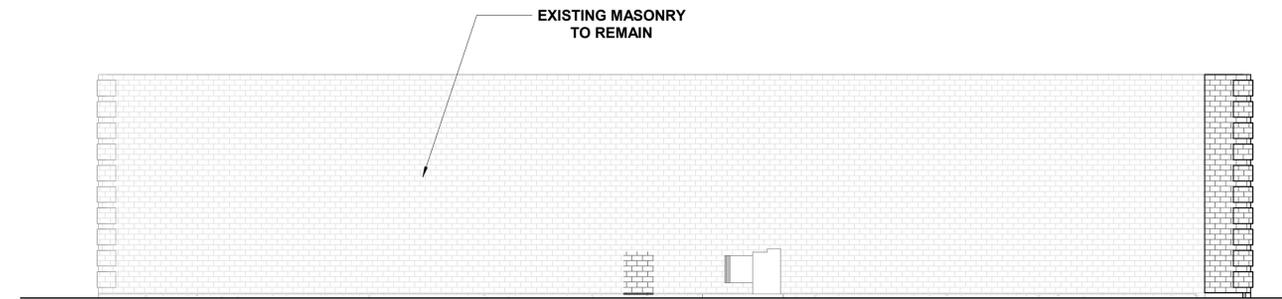
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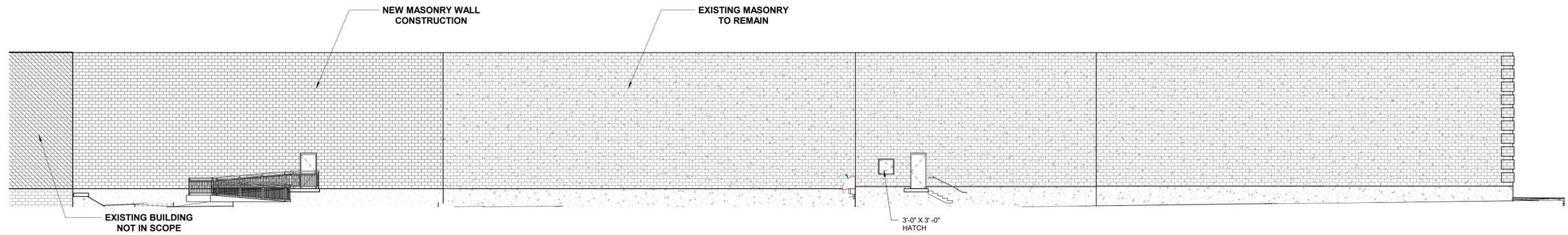




**EXTERIOR ELEVATION**  
3/32" = 1'-0"



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3/32" = 1'-0"

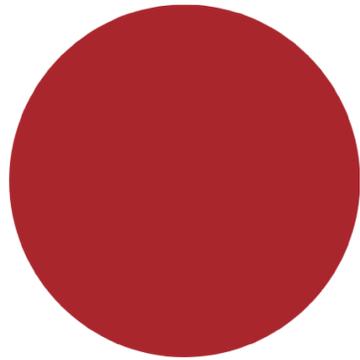


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# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN ELEVATION | 12.5.2025

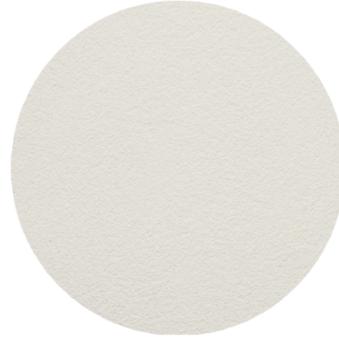




NICHIHA ILLUMINATION PANEL : CUSTOM BURLINGTON RED



ALUCOBOND EYEBROW CANOPY PROJECTION



EIFS, SW7009 PEARLY WHITE



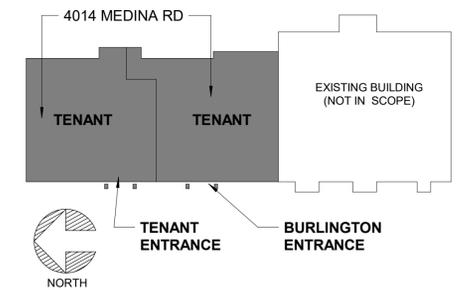
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ENLARGED EXTERIOR ELEVATION - FRONT FACADE  
1/4" = 1'-0"

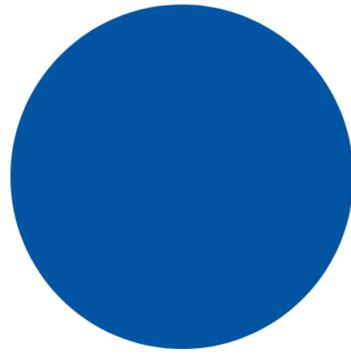


3D View 2



# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN RENDERS | 12.5.2025



SIGNAGE, PARAPET, TRIM; ORACAL 7500 #006 INTENSE BLUE



EIFS WHITE; SW7006 EXTRA WHITE



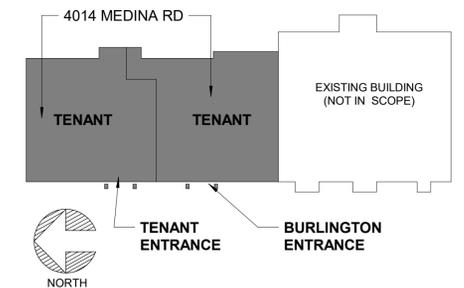
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EXTERIOR ELEVATION - FRONT FACADE - TENANT B  
1/4" = 1'-0"



3D View 3



# REGAL CINEMAS REDEMISE & RENOVATION

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN RENDERS | 12.5.2025

FOR LEGAL DESCRIPTIONS SEE SHEET 3 OF 3

FLOOD PLAIN DATA  
PARCEL IS IN FLOOD ZONE C (OUTSIDE OF 500 YEAR FLOOD)  
PER COUNTY OF SUMMIT UNINCORPORATED AREAS COMMUNITY  
PLAN NO. 3907810105 B DATED APRIL 15, 1981

PARCEL ZONING: C-4 (SHOPPING CENTERS)

BUILDING SETBACK  
FRONT = 50'  
REAR = 25'  
SIDE = 50'

ALL BUILDINGS SHOWN MEET THE REQUIRED  
SETBACK AND ZONING REQUIREMENTS

SCALE: 1"=100'  
0 50 100 200

SITUATED IN  
COPELY TOWNSHIP  
COUNTY OF SUMMIT  
STATE OF OHIO  
PART OF ORIGINAL LOT 3

PARCEL "1"	=	0.8357 AC.
+ PARCEL "6"	=	12.8681 AC.
+ PARCEL "2"	=	14.6091 AC.
+ PARCEL "3"	=	12.6763 AC.
+ PARCEL "4"	=	1.4401 AC.
+ PARCEL "5"	=	2.7917 AC.
<b>TOTAL AREA</b>	<b>=</b>	<b>45.2210 AC.</b>

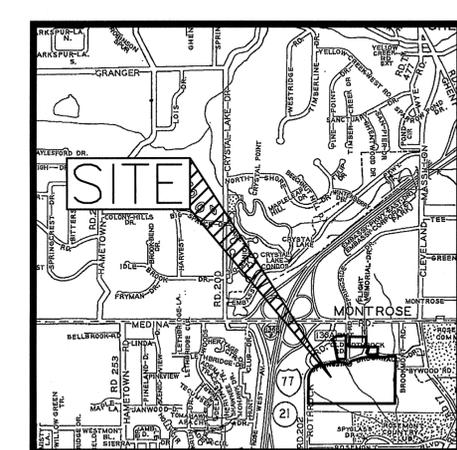
CERTIFICATION

TO: PERA MONTROSE, INC.; CHICAGO TITLE INSURANCE COMPANY.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(c), 7(b)(1), 8, 9, 11b, 13, 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 9, 2013.

LOUIS J. GIFFELS / REG. NO. 7790 / DATE 7/19/2013



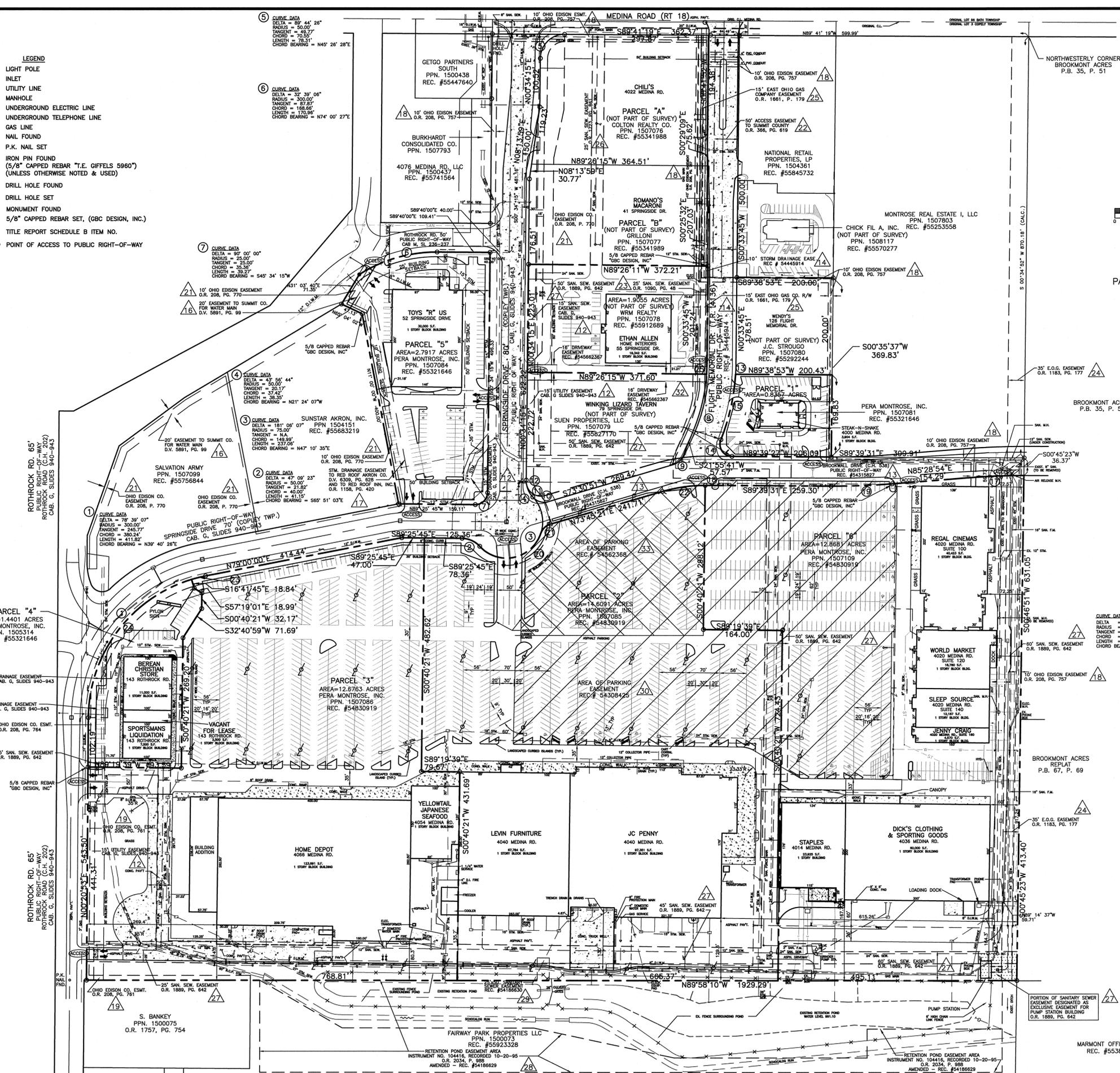
BASIS OF BEARING  
THE PLAT OF BROOKWALL DRIVE (C.H. 538) PUBLIC RIGHT OF WAY AS RECORDED IN RECEPTION #54315827 OF THE SUMMIT COUNTY RECORDS.



LOCATION MAP

SCALE: 1" = 3000'  
0 1000 2000 3000 4000

- LEGEND**
- LIGHT POLE
  - INLET
  - UTILITY LINE
  - MANHOLE
  - UNDERGROUND ELECTRIC LINE
  - UNDERGROUND TELEPHONE LINE
  - GAS LINE
  - NAIL FOUND
  - P.K. NAIL SET
  - IRON PIN FOUND (5/8" CAPPED REBAR T.E. CIFFELS 5960) (UNLESS OTHERWISE NOTED & USED)
  - DRILL HOLE FOUND
  - DRILL HOLE SET
  - MONUMENT FOUND
  - 5/8" CAPPED REBAR SET. (GBC DESIGN, INC.)
  - TITLE REPORT SCHEDULE B ITEM NO.
  - POINT OF ACCESS TO PUBLIC RIGHT-OF-WAY



ROTHROCK RD. 65' PUBLIC RIGHT-OF-WAY (CAB. G. SLIDES 940-943)

PARCEL "4" AREA=1.4401 ACRES PERA MONTROSE, INC. PPN. 1505314 REC. #55321646

BEREAN CHRISTIAN STORE 11000 S.F. 1 STORY BLOCK BUILDING

SPORTSMAN'S LIQUIDATION 143 ROTHROCK RD. 1 STORY BLOCK BUILDING

VACANT FOR LEASE 143 ROTHROCK RD. 1 STORY BLOCK BUILDING

HOME DEPOT 4066 MEDINA RD. 122800 S.F. 1 STORY BLOCK BUILDING

YELLOWTAIL JAPANESE SEAFOOD 4404 MEDINA RD. 1 STORY BLOCK BUILDING

LEVIN FURNITURE 4040 MEDINA RD. 8730 S.F. 1 STORY BLOCK BUILDING

JC PENNY 4040 MEDINA RD. 8730 S.F. 1 STORY BLOCK BUILDING

STAPLES 4014 MEDINA RD. 3349 S.F. 1 STORY BUILDING

DICK'S CLOTHING & SPORTING GOODS 6020 S.F. 1 STORY BLOCK BUILDING

WORLD MARKET 4020 MEDINA RD. SUITE 120 10000 S.F. 1 STORY BLOCK BLDG.

SLEEP SOURCE 4020 MEDINA RD. SUITE 140 10000 S.F. 1 STORY BLOCK BLDG.

JENNY CRAIG 4020 MEDINA RD. SUITE 150 10000 S.F. 1 STORY BLOCK BLDG.

REGAL CINEMAS 4020 MEDINA RD. SUITE 100 10000 S.F. 1 STORY BLOCK BLDG.

PARCEL "6" AREA=12.8681 ACRES PERA MONTROSE, INC. PPN. 1507109 REC. #54830919

PARCEL "5" AREA=2.7917 ACRES PERA MONTROSE, INC. PPN. 1507084 REC. #55321646

TOYS 'R' US 52 SPRINGSIDE DRIVE 30000 S.F. 1 STORY BLOCK BUILDING

WINKING LIZARD TAVERN (NOT PART OF SURVEY) 79 SPRINGSIDE DRIVE 7900 S.F. 1 STORY BLOCK BUILDING

SUEN PROPERTIES, LLC (NOT PART OF SURVEY) 50 SPRINGSIDE DR. REC. #55827170

ETHAN ALLEN HOME INTERIORS (NOT PART OF SURVEY) 55 SPRINGSIDE DR. REC. #545662367

PARCEL "B" (NOT PART OF SURVEY) GRILLON PPN. 1507077 REC. #55341989

ROMANO'S MACARONI 41 SPRINGSIDE DR. PPN. 1507078 REC. #55341989

CHICK FIL A, INC. REC. #55253558 (NOT PART OF SURVEY) PPN. 1508117 REC. #55570277

MONTROSE REAL ESTATE I, LLC PPN. 1507803 REC. #55253558

NATIONAL RETAIL PROPERTIES, LP PPN. 1504361 REC. #55845732

CHILU'S 4022 MEDINA RD. PPN. 1507078 REC. #55341988

GETGO PARTNERS SOUTH PPN. 1500438 REC. #55447640

BURKHARDT CONSOLIDATED CO. PPN. 1507793 REC. #55741564

4076 MEDINA RD. LLC PPN. 1500437 REC. #55741564

FAIRWAY PARK PROPERTIES LLC PPN. 1500073 REC. #55923328

S. BANKEY PPN. 1500075 O.R. 1757, PG. 754

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RETENTION POND EASEMENT

EASEMENTS, RESERVATIONS, & RESTRICTIONS

1. EASEMENT, RESERVATIONS AND RESTRICTION AS SHOWN THE PLAT OF DEDICATION FOR SPRINGSIDE DRIVE, AS RECORDED IN PLAT CABINET G, SLIDE 940 OF THE SUMMIT COUNTY RECORDS - SHOWN (EASEMENT RECITAL IS BLANKET-NOT SHOWN) - APPLIES TO SUBJECT PROPERTY (UTILITY EASEMENT AFFECTS PARCELS F, G, H, AND M ONLY) (DRAINAGE EASEMENT AFFECTS PARCEL M ONLY) - ITEM NO. 12.
2. EASEMENT FOR ROAD PURPOSES AS SHOWN ON THE PLAT OF BROOKWALL DRIVE (C.H. 538), AS RECORDED IN RECEPTION #5431827 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL F ONLY) - ITEM NO. 13.
3. EASEMENT FOR ROAD PURPOSES AND 10' STORM EASEMENT AS SHOWN ON THE PLAT OF DEDICATION FOR FLIGHT MEMORIAL DRIVE (T.R. 4138), AS RECORDED IN RECEPTION # 54445914 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C AND F ONLY) - ITEM NO. 14.
23. DECLARATION OF RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 905 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M) - ITEM NO. 15.
4. BOARD OF COMMISSIONERS OF SUMMIT COUNTY WATER SUPPLY FACILITIES EASEMENT, AS RECORDED IN DEED VOLUME 5891, PAGE 99 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 16.
5. RED ROOF AKRON CO. STORM WATER DRAINAGE EASEMENT AS RECORDED IN DEED VOLUME 6309, PAGE 628 OF THE SUMMIT COUNTY RECORDS, RIGHTS THEN ASSIGNED IN DEED VOLUME 1150, PAGE 420 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 17.
7. OHIO EDISON COMPANY 10' EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 757 OF THE SUMMIT COUNTY RECORDS - AMENDMENT RECORDED IN RECEPTION #54288098 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G AND H ONLY) - ITEM NO. 18.
8. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 761 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 19.
9. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 784 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS J AND K ONLY) - ITEM NO. 20.
10. OHIO EDISON COMPANY EASEMENT AND RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 208, PAGE 770 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 21.
11. COUNTY OF SUMMIT 50' ACCESS EASEMENT AS RECORDED IN OFFICIAL RECORD 366, PAGE 619 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (WITHIN THE LIMITS OF FLIGHT MEMORIAL DRIVE ONLY) - ITEM NO. 22.
13. COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1090, PAGE 48 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 29) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 23.
14. EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1183, PAGE 177 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS G, H, I AND J ONLY) - ITEM NO. 24.
18. EAST OHIO GAS COMPANY PIPELINE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORD 1861, PAGE 179 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 25.
19. 25' SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO THE COUNTY OF SUMMIT, OHIO AS RECORDED IN OFFICIAL RECORD 1723, PAGE 861 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 26.
21. COUNTY OF SUMMIT SEWER EASEMENT, AS RECORDED IN OFFICIAL RECORD 1889, PAGE 642 OF THE SUMMIT COUNTY RECORDS - SHOWN (SAME AS ITEM NO. 18) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS C, F, G, H, I AND J ONLY) - ITEM NO. 27.
22. EASEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE DEVELOPMENT INC., AS RECORDED IN OFFICIAL RECORD 2034, PAGE 988 OF THE SUMMIT COUNTY RECORDS (AMENDED IN RECEPTION #54188629 OF THE SUMMIT COUNTY RECORDS) - SHOWN - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 28.
27. SANITARY SEWER EASEMENT FROM MONTROSE DEVELOPMENT, INC. TO MONTROSE DEVELOPMENT, INC. AND FAIRWAY PARK PROPERTIES LLC, AS RECORDED IN RECEPTION #54188630 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY - ITEM NO. 29.
30. PARKING EASEMENT FROM MONTROSE DEVELOPMENT INC., TO STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308425 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS F, G, H AND I ONLY) - ITEM NO. 30.
32. UTILITY AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54411125 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 31.
33. COMMON DRIVEWAY EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM AND JACQUELINE MOTSINGER, AS RECORDED IN RECEPTION #54582367 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C AND F) - ITEM NO. 32.
34. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A DEED OF EASEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND FRISCH'S RESTAURANTS, INC., AS RECORDED IN RECEPTION #54562368 OF THE SUMMIT COUNTY RECORDS - SHOWN - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL G AND H ONLY) - ITEM NO. 33.
35. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A RECIPROCAL EASEMENT AND EXCLUSIVE USE AGREEMENT BETWEEN MS AT MONTROSE, LLC AND JOHN C. STROUD AS RECORDED IN RECEPTION #55292245 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET OVER ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 34.
6. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND MONTROSE CINEMA, INC., AS RECORDED IN OFFICIAL RECORD 1648, PG. 763 OF THE SUMMIT COUNTY RECORDS - TERMS, COVENANTS AND RESTRICTIONS CONTAINED IN A LEASE ASSIGNMENT AND ASSUMPTION AGREEMENT BETWEEN MONTROSE CINEMA, INC., REGAL CINEMA'S, INC., AND MONTROSE DEVELOPMENT, INC., AS RECORDED IN OFFICIAL RECORD 1648, PG. 760 OF THE SUMMIT COUNTY RECORDS - ASSIGNMENT AND ASSUMPTION OF LEASE AGREEMENT BETWEEN MONTROSE CINEMA'S, INC. AND REGAL CINEMA'S, INC. AS RECORDED IN OFFICIAL RECORD 1648, PG. 772 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCELS G AND H ONLY) - ITEM NO. 35.
12. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A SHORT FORM OF GROUND LEASE AS RECORDED IN OFFICIAL RECORD 883, PG. 415; ASSIGNMENT OF GROUND LEASE AS RECORDED IN OFFICIAL RECORD 1332, PG. 898; MEMORANDUM OF LEASE AS RECORDED IN OFFICIAL RECORD 1233, PG. 903; FIRST AMENDMENT TO LEASE AS RECORDED IN OFFICIAL RECORD 1354, PG. 578; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1242, PG. 767 AND OFFICIAL RECORD 1242, PAGE 773; ASSIGNMENTS OF GROUND LEASES AS RECORDED IN OFFICIAL RECORD 1376, PG. 423 AND O.R. 1376, PG. 433; ASSIGNMENTS ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN OFFICIAL RECORD 1557, PG. 420; ASSIGNMENT AND ASSUMPTION OF TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #55172161; MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #54172162; AGREEMENT AS RECORDED IN RECEPTION #55172163; AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55261202; MEMORANDUM OF LEASE AS RECORDED IN RECEPTION #55196010; AGREEMENT AS RECORDED IN RECEPTION #55257821; AMENDMENT TO AGREEMENT AS RECORDED IN RECEPTION #55261201; ASSIGNMENT AND TENANTS INTEREST IN GROUND LEASE AS RECORDED IN RECEPTION #55281196; GROUND LESSOR'S CONSENT AS RECORDED IN RECEPTION #55287481; GROUND LEASE ESTOPPEL AS RECORDED IN RECEPTION #55261200 AND RE-CORDED IN RECEPTION #55264313; GROUND LESSOR'S CONSENT AS RECORDED IN RECEPTION #55287461 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - (AFFECTS PARCEL I ONLY) - ITEM NO. 36.
15. MEMORANDUM OF LEASE WITH USE RESTRICTIONS BY AND BETWEEN MONTROSE DEVELOPMENT, INC. AND BUILDERS SQUARE, INC., AS RECORDED IN OFFICIAL RECORD 1188, PAGE 430 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENTS IN RECEPTION #54303146, ASSIGNMENTS IN RECEPTION #54303147, FIRST AMENDMENT AS RECORDED IN RECEPTION #54312062 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 37.
16. ITEM NO. 38 IS NOT A MATTER OF SURVEY.
16. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND BRINKER RESTAURANT CORPORATION, AS RECORDED IN OFFICIAL RECORD 1492, PG. 666 OF THE SUMMIT COUNTY RECORDS, ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #54987122 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 39.
17. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND ROMANO'S MACARONI GRILL, INC., AS RECORDED IN OFFICIAL RECORD 1492, PG. 672 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - LESSEE HAS RIGHT TO USE ALL "COMMON AREAS" OF ENTIRE SHOPPING CENTER) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 40.
20. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND DICK'S CLOTHING AND SPORTING GOODS, INC., AS RECORDED IN OFFICIAL RECORD 1790, PG. 838 OF THE SUMMIT COUNTY RECORDS - SUBJECT TO AMENDMENTS AND AGREEMENTS RECORDED IN DEED VOLUME 2066, PAGE 888, RECEPTION #54354290, RECEPTION #54354291, RECEPTION #54397277, AND RECEPTION #55142200 ALL OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - APPLIES TO SUBJECT PROPERTY (LEASE OVER EXISTING DICK'S CLOTHING & SPORTING GOODS BUILDING - AFFECTS PARCELS G AND H ONLY) - ITEM NO. 41.
24. STORM DRAIN CONNECTION AGREEMENT BY AND BETWEEN MONTROSE DEVELOPMENT, INC., TOYS-R-US-OHIO, INC., AND RED ROOF INNS, INC., AS RECORDED IN OFFICIAL RECORD 2207, PAGE 916 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (LOCATION UNDEFINED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 42.
25. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC., AS RECORDED IN OFFICIAL RECORD 2207, PG. 928 OF THE SUMMIT COUNTY RECORDS AND A COMMENCEMENT AGREEMENT BETWEEN MONTROSE DEVELOPMENT, INC. AND TOYS-R-US-OHIO, INC. AS RECORDED IN RECEPTION #54015356 OF THE SUMMIT COUNTY RECORDS - ASSIGNMENT AND ASSUMPTION OF LEASE AS RECORDED IN RECEPTION #55293333 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL M ONLY) - ITEM NO. 43.
26. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND STAPLES INC., AS RECORDED IN RECEPTION #54080607 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET - SHOPPING CENTER USES ARE RESTRICTED) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 44.
28. TERMS, COVENANTS AND CONDITIONS CONTAINED IN A MEMORANDUM OF LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND COST PLUS, INC. AS RECORDED IN RECEPTION #54282180 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY - ITEM NO. 45.
29. TERMS, COVENANTS AND RESTRICTIONS CONTAINED IN A SHORT FORM LEASE BETWEEN MONTROSE DEVELOPMENT INC., AND STEAK N SHAKE, INC., AS RECORDED IN RECEPTION #54308424 AND THEN RE-CORDED IN RECEPTION #54410525 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL I ONLY) - ITEM NO. 46 & 48.
31. TERMS, COVENANTS, AND CONDITIONS CONTAINED IN A LEASE BETWEEN MONTROSE DEVELOPMENT, INC. AND WILLIAM MOTSINGER, AS RECORDED IN RECEPTION #54377422 OF THE SUMMIT COUNTY RECORDS - NOT SHOWN (BLANKET) - APPLIES TO SUBJECT PROPERTY (AFFECTS PARCEL C ONLY) - ITEM NO. 47.

\*\*EASEMENTS HAVE BEEN PLOTTED FROM CHICAGO TITLE INSURANCE COMPANY TITLE NO: 555130144 DATED MAY 28, 2013.

SHOPPING CENTER PARKING TALLY  
PARCELS "1 - 6"

REGULAR SPACES = 2158  
HANDICAP SPACES = 49  
TOTAL SPACES = 2207

PARKING MEETS REQUIREMENTS PER COPLEY TOWNSHIP ZONING APPROVED SITE PLAN.

CURVE DATA

- |  |   |
|--|---|
| <p>8 CURVE DATA<br/>DELTA = 18°09'32"<br/>RADIUS = 371.68'<br/>TANGENT = 58.90'<br/>CHORD = 116.34'<br/>LENGTH = 116.62'<br/>CHORD BEARING = S12°55'25"W</p> <p>9 CURVE DATA<br/>DELTA = 51°35'08"<br/>RADIUS = 34.89'<br/>TANGENT = 16.86'<br/>CHORD = 30.36'<br/>LENGTH = 31.41'<br/>CHORD BEARING = S47°43'15"W</p> <p>10 CURVE DATA<br/>DELTA = 64°41'16"<br/>RADIUS = 30.00'<br/>TANGENT = 19.00'<br/>CHORD = 32.10'<br/>LENGTH = 33.87'<br/>CHORD BEARING = N74°08'33"W</p> <p>11 CURVE DATA<br/>DELTA = 01°03'47"<br/>RADIUS = 75.00'<br/>TANGENT = 0.70'<br/>CHORD = 1.39'<br/>LENGTH = 1.39'<br/>CHORD BEARING = N42°59'36"W</p> <p>12 CURVE DATA<br/>DELTA = 43°56'44"<br/>RADIUS = 50.00'<br/>TANGENT = 20.17'<br/>CHORD = 37.42'<br/>LENGTH = 38.35'<br/>CHORD BEARING = N21°24'08"W</p> <p>13 CURVE DATA<br/>DELTA = 2°51'16"<br/>RADIUS = 431.68'<br/>TANGENT = 10.76'<br/>CHORD = 21.50'<br/>LENGTH = 21.51'<br/>CHORD BEARING = N01°59'23"E</p> <p>14 CURVE DATA<br/>DELTA = 11°35'15"<br/>RADIUS = 25.00'<br/>TANGENT = 36.78'<br/>CHORD = 41.35'<br/>LENGTH = 48.69'<br/>CHORD BEARING = N33°51'56"W</p> <p>15 CURVE DATA<br/>DELTA = 16°30'41"<br/>RADIUS = 431.68'<br/>TANGENT = 70.35'<br/>CHORD = 138.86'<br/>LENGTH = 139.47'<br/>CHORD BEARING = N12°40'21"E</p> <p>16 CURVE DATA<br/>DELTA = 21°21'55"<br/>RADIUS = 431.68'<br/>TANGENT = 81.43'<br/>CHORD = 160.04'<br/>LENGTH = 160.97'<br/>CHORD BEARING = S11°14'43"W</p> | <p>17 CURVE DATA<br/>DELTA = 4°45'24"<br/>RADIUS = 1438.25'<br/>TANGENT = 59.73'<br/>CHORD = 119.37'<br/>LENGTH = 119.40'<br/>CHORD BEARING = N87°51'36"E</p> <p>18 CURVE DATA<br/>DELTA = 0°19'42"<br/>RADIUS = 317.50'<br/>TANGENT = 0.91'<br/>CHORD = 1.82'<br/>LENGTH = 1.82'<br/>CHORD BEARING = S89°49'23"E</p> <p>19 CURVE DATA<br/>DELTA = 4°51'35"<br/>RADIUS = 1498.25'<br/>TANGENT = 127.04'<br/>CHORD = 127.08'<br/>LENGTH = 155.93'<br/>CHORD BEARING = N87°54'41"E</p> <p>20 CURVE DATA<br/>DELTA = 119°07'17"<br/>RADIUS = 75.00'<br/>TANGENT = 0.70'<br/>CHORD = 1.39'<br/>LENGTH = 1.39'<br/>CHORD BEARING = N78°09'59"E</p> <p>21 CURVE DATA<br/>DELTA = 55°09'00"<br/>RADIUS = 30.00'<br/>TANGENT = 15.61'<br/>CHORD = 27.77'<br/>LENGTH = 28.88'<br/>CHORD BEARING = N46°10'51"E</p> <p>22 CURVE DATA<br/>DELTA = 16°15'25"<br/>RADIUS = 317.15'<br/>TANGENT = 45.80'<br/>CHORD = 89.69'<br/>LENGTH = 89.99'<br/>CHORD BEARING = N81°53'04"E</p> <p>23 CURVE DATA<br/>DELTA = 5°41'45"<br/>RADIUS = 300.00'<br/>TANGENT = 14.92'<br/>CHORD = 29.81'<br/>LENGTH = 29.82'<br/>CHORD BEARING = N76°09'07"E</p> <p>24 CURVE DATA<br/>DELTA = 72°57'22"<br/>RADIUS = 300.00'<br/>TANGENT = 221.81'<br/>CHORD = 356.71'<br/>LENGTH = 382.00'<br/>CHORD BEARING = N36°49'34"E</p> <p>25 CURVE DATA<br/>DELTA = 3°21'24"<br/>RADIUS = 371.68'<br/>TANGENT = 10.88'<br/>CHORD = 21.77'<br/>LENGTH = 21.77'<br/>CHORD BEARING = N02°14'27"E</p> |
|--|---|

GBC DESIGN, INC.  
Akron, OH 44320-1123  
565 White Pond Dr.  
Phone 330-886-0228

PERA MONTROSE, INC.  
C/O CBRE, INC.  
200 PUBLIC SQUARE - SUITE 2560  
CLEVELAND, OHIO 44114

MARKET SQUARE AT MONTROSE  
COPLEY, OHIO  
ALTA/ACSM LAND TITLE SURVEY  
MAY, 2013 UPDATE

DRAWN BY:  
J.A.B.  
DATE:  
MAY, 2013  
PROJECT NO.  
21042BG  
DRAWING NO.  
2 OF 3

Parcel 6 - 12.8681 Acres  
PPN 1507109

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in the Plat Book 35, Page 51 of the Summit County Records; Thence S 00o 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to point; Thence S 00o 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00o 46' 51" W, continuing along the westerly line of said Brookmont Acres and also along the westerly Brookmont Acres Replat as recorded in the Plat Book 67, Page 69, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00o 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar found; Thence N 89o 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 00o 40' 21" E a distance of 724.43 feet to a P.K. nail to be set; Thence N 89o 19' 39" W a distance of 164.00 feet to a P.K. nail to be set; Thence N 00o 40' 21" E a distance of 298.12 feet to a P.K. nail to be set; Thence along southerly line of Brookwall Drive (C.H. 538) as recorded in Rec. # 54315827 of the Summit County Records, along the arc of a circle curving to the right, having a central angle of 00o 19' 42", a radius of 317.15 feet, a tangent of 0.91 feet, a chord of 1.82 feet, a chord bearing of S 89o 49' 23" E, and an arc length of 1.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 89o 39' 31" E, continuing along southerly line of said Brookwall Drive, a distance of 259.30 feet to a P.K. nail to be set at a point of curvature; Thence continuing along southerly line of said Brookwall Drive, along the arc of a circle curving to the left, having a central angle of 04o 51' 35", a radius of 1498.25 feet, a tangent of 63.58 feet, a chord of 127.04 feet, a chord bearing of N 87o 54' 41" E, and an arc length of 127.08 feet to a P.K. nail to be set; Thence N 65o 28' 4" E, continuing along the southerly line of Brookwall Drive (S.H. 536) as recorded in Rec. # 54315827 of Summit County Records, a distance of 154.29 to a P.K. nail to be set at a point of curvature; Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right, having a central angle of 04o 45' 24", a radius of 1438.25 feet, a tangent of 59.75 feet, a chord of 119.37 feet, a chord bearing of N 87o 51' 36" E, and an arc length of 119.40 feet to a point, which is the True Place of Beginning and containing 12.8681 Acres of land, more or less, as surveyed in August, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

Parcel 2 - 14.6091 Acres  
PPN 1507085

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also being the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 89 58' 10" W a distance of 495.11 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described; Thence, continuing N 89o 58' 10" W, a distance of 665.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 00o 40' 21" E a distance of 431.69 feet to a P.K. nail to be set; Thence N 89o 19' 39" W a distance of 79.67 feet to a P.K. nail to be set; Thence N 00o 40' 21" E a distance of 482.62 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 89o 25' 45" E, along the southerly line of Springside Drive (70' wide) as recorded in Cabinet G, Slides 940-943 of Summit County Records, a distance of 78.36 feet to a 5/8" capped rebar found at a point of curvature; Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the right having a central angle of 47o 09' 23", a radius of 50.00 feet, a tangent of 21.82 feet, a chord of 40.00 feet, a chord bearing S 65o 51' 03" E, and an arc length of 41.15 feet to a 5/8" capped rebar found at a point of reverse curvature; Thence continuing along the southerly line of said Springside Drive, along the arc of a circle curving to the left having a central angle of 119o 07' 17", a radius of 75.00 feet, a tangent of 127.43 feet, a chord of 129.33 feet, a chord bearing N 78o 09' 59" E, and an arc length of 155.93 feet to a 5/8" capped rebar found; Thence along the southerly line of Brookwall Drive (C.H. 538), as recorded in Rec. # 54315827 of the Summit County records, along the arc of a circle curving to the right having a central angle of 55o 09' 00", a radius of 30.00 feet, a tangent of 15.67 feet, a chord of 27.77 feet, a chord bearing N 46o 10' 51" E, and an arc length of 28.88 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 73o 45' 21" E, continuing along the southerly line of said Brookwall Drive, a distance of 241.71 feet to a P.K. nail to be set at a point of curvature; Thence continuing along the southerly line of said Brookwall Drive, along the arc of a circle curving to the right having a central angle of 16o 15' 25", a radius of 317.15 feet, a tangent of 45.30 feet, a chord of 89.69 feet, a chord bearing N 81o 55' 04" E, and an arc length of 89.99 feet to a P.K. nail to be set; Thence S 00o 40' 21" W a distance of 298.12 feet to a P.K. nail to be set; Thence S 89o 19' 39" E a distance of 164.00 feet to a P.K. nail to be set; Thence S 00o 40' 21" W a distance of 724.43 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point, which is the True Place of Beginning and containing 14.6091 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

Parcel 3 - 12.6763 Acres  
PPN 1507086

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found; Thence N 89 58' 10" W a distance of 1160.48 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described; Thence, continuing N 89o 58' 10" W, a distance of 768.81 feet to a 5/8" capped rebar found; Thence N 00o 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 89o 19' 39" E a distance of 193.59 feet to a P.K. nail to be set; Thence N 00o 40' 21" E a distance of 269.20 feet to a P.K. nail to be set; Thence N 32o 40' 59" E a distance of 71.69 feet to a P.K. nail to be set; Thence N 00o 40' 21" E a distance of 32.17 feet to a P.K. nail to be set; Thence N 57o 19' 01" W a distance of 18.99 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 16o 41' 45" W a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence along the southerly line of Springside Drive (70' wide), as recorded in Cabinet G, Slides 940-943 of the Summit County Records, along the arc of a circle curving to the right having a central angle of 05o 41' 45", a radius of 300.00 feet, a chord of 29.81 feet, a chord bearing N 76o 09' 07" E, and an arc length of 29.82 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence N 79o 00' 00" E, continuing along the southerly line of said Springside Drive, a distance of 144.44 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 89o 25' 45" E, continuing along the southerly line of said Springside Drive, a distance of 47.00 feet to a point; Thence S 00o 40' 21" W a distance of 482.62 feet to a P.K. nail to be set; Thence S 89o 19' 39" E a distance of 79.67 feet to a Drill Hole to be set; Thence S 00o 40' 21" W a distance of 431.69 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning and containing 12.6763 Acres of land, more or less, as surveyed in July, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

Parcel 4 - 1.4401 Acres  
PPN 1505314

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in P.B. 35, Pg. 51 of the Summit County records; Thence S 00 34' 52" W, along the westerly line of said Brookmont Acres, a distance of 870.18 feet to a point; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres, a distance of 36.37 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 46' 51" W, continuing along the westerly line of said Brookmont Acres, also along the westerly line of Brookmont Acres Replat as recorded in P.B. 67, Pg. 69 of the Summit County records, a distance of 631.05 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00 45' 23" W, continuing along the westerly line of said Brookmont Acres Replat, a distance of 413.40 feet to a iron pin found; Thence N 89 58' 10" W a distance of 1929.29 feet to a capped rebar found; Thence N 00 20' 53" E, along the easterly line of Rothrock Road (C.H. 202), 65' wide, as recorded in Cabinet G, Slides 940-943 of the Summit County Records, a distance of 441.31 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at the True Place of Beginning for the parcel of land herein described; Thence N 00o 20' 53" E, continuing along the easterly line of said Rothrock, a distance of 102.19 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set at a point of curvature; Thence continuing along the easterly line of said Rothrock Road, along the arc of a circle curving to the right having a central angle of 72o 57' 22", a radius of 300.00 feet, a tangent of 221.81 feet, a chord of 356.71 feet, a chord bearing N 36o 09' 34" E, and an arc length of 382.00 feet to a point; Thence S 16o 41' 45" E a distance of 18.84 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 57o 19' 01" E a distance of 18.99 feet to a P.K. nail to be set; Thence S 00o 40' 21" W a distance of 32.17 feet to a P.K. nail to be set; Thence S 32o 40' 59" W a distance of 71.69 feet to a P.K. nail to be set; Thence S 00o 40' 21" W a distance of 269.20 feet to a P.K. nail to be set; Thence N 89o 19' 39" W a distance of 193.59 feet to a point, which is the True Place of Beginning and containing 1.4401 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

Parcel 1 - 0.8357 Acres  
PPN 1507081

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at a 5/8" capped rebar (GBC Design, Inc.) to be set at the northwesterly corner of Brookmont Acres as recorded in Plat Book 35, Page 51 of the Summit County Records; Thence N 89o 41' 19" W, along the southerly line of Medina Road (S.R. 18) a distance of 599.99 to a point; Thence S 00o 33' 45" W, along the easterly line of Flight Memorial Drive as recorded in Rec. #54445914, a distance of 678.51 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence continuing along the easterly line of said Flight Memorial Drive, along the arc of a circle curving to the right, having a central angle of 02° 51' 10", a radius of 431.68 feet, a tangent of 10.76 feet, a chord of 21.50 feet, a chord bearing of S 01° 59' 23" W, and an arc length of 21.51 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set, which is the True Place of Beginning for the parcel of land herein described; Thence S 89o 38' 53" E a distance of 200.43 feet to a 5/8" capped rebar (GBC Design, Inc.) to be set; Thence S 00o 35' 37" W a distance of 169.83 feet to a 5/8" capped rebar found; Thence N 89o 39' 27" W, along the northerly line of Brookwall Drive (C.H. 538), as recorded in the Rec. # 54315827 of the Summit County Records, a distance of 206.09 feet to 5/8" capped rebar (GBC Design, Inc.) to be set; Thence continuing along the northerly line of said Brookwall Drive, along the arc of a circle curving to the right having a central angle of 111o 35' 15", a radius of 25.00 feet, a tangent of 36.78 feet, a chord of 41.35 feet, a chord bearing N 33o 51' 56" W, and an arc length of 48.69 feet to 5/8" capped rebar (GBC Design, Inc.) to be set at a point of reverse curvature; Thence along the easterly line of said Flight Memorial Drive, along the arc of a circle curving to the left having a central angle of 18o 30' 41", a radius of 431.68 feet, a tangent of 70.35 feet, a chord of 138.86 feet, a chord bearing N 12o 40' 21" E, and an arc length of 139.47 feet to a point, which is the True Place of Beginning and containing 0.8357 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

Parcel 5 - 2.7917 Acres  
PPN 1507084

Situated in the Township of Copley, County of Summit, State of Ohio and known as being part of Original Lot 3 of said Township and more fully described as follows:

Beginning at the centerline intersection of Springside Drive (80' wide) as recorded in Cabinet G, Slides 940-943 in the Summit County Records and Medina Road (S.R. 18) (witnessed by a drill hole found S 00 34' 15" W at a distance of 30.00 feet); Thence S 00° 34' 15" W, along the centerline of said Springside Drive, a distance of 481.16 feet to a point; Thence N 89° 25' 45" W a distance of 40.00 feet to a 5/8" capped rebar found at the True Place of Beginning for the parcel of land herein described; Thence S 00o 34' 15" W, along the westerly line of said Springside Drive, a distance of 496.33 feet to a 5/8" capped rebar found at a point of curvature; Thence along the northerly line of said Springside Drive, along the arc of a circle curving to the right, having a central angle of 90o 00' 00", a radius of 25.00 feet, a tangent of 25.00 feet, a chord of 35.36 feet, a chord bearing of S 45o 34' 15" W, and an arc length of 39.27 feet to a 5/8" capped rebar found at a point of tangency; Thence N 89o 25' 45" W, continuing along the northerly line of said Springside Drive (70' wide) a distance of 159.11 feet to a 5/8" capped rebar found; Thence N 11o 00' 00" W a distance of 400.00 feet to a 5/8" capped rebar found; Thence N 65o 04' 02" W a distance of 47.13 feet to a 5/8" capped rebar found; Thence N 31o 03' 40" E, a distance of 71.35 feet to a 5/8" capped rebar found; Thence along the arc of a circle curving to the right, having a central angle of 32o 39' 06", a radius of 300.00 feet, a tangent of 87.57 feet, a chord of 168.66 feet, a chord bearing of N 74o 00' 27" E, and a arc length of 170.96 feet to a 5/8" capped rebar found at a point of tangency; Thence S 89o 40' 00" E, a distance of 109.41 feet to a point which is the True Place of Beginning and containing 2.7917 Acres of land, more or less, as surveyed in November, 2000 by Louis J. Giffels, Registered Surveyor No. 7790, with GBC Design, Inc..

\*\*\*TOGETHER WITH THE EASEMENT AS FILED FOR RECORD IN VOLUME 2034, PAGE 988 AND AMENDED IN INSTRUMENT NO. 54186629; REPRODUCTION EASEMENT AND OPERATION AGREEMENT FILED FOR RECORD IN VOLUME 1202, PAGE 311 AND VOLUME 1232, PAGE 856 OF SUMMIT COUNTY RECORDS.

COPLEY TOWNSHIP  
 SITE PLAN REVIEW  
 MAJOR SITE PLAN/VARIANCE  
 4014 MEDINA ROAD  
 STAFF REPORT



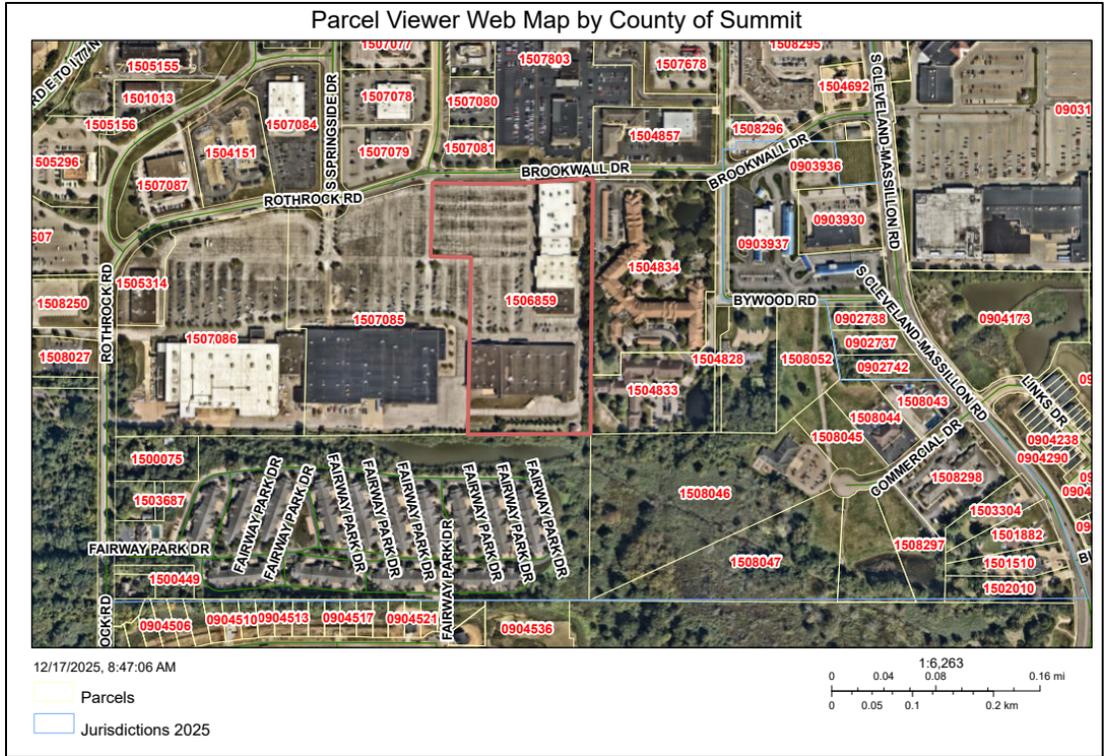
January 5, 2026

<b>PROJECT: Former Regal Cinema Redevelopment</b>	
<b>PPN: 1506859</b>	<b>APPLICATION TYPE: Major Site Plan/Variance</b>
LANDOWNER	MSA Montrose LP
APPLICANTS	MSA Montrose LP, c/o Hampton Properties, Inc-Jacob Berger Colliers Engineering-Corey LeBlanc Richard Korris
COMPANY PERFORMING WORK REQUESTED	Colliers Engineering
INVESTMENT	\$5,000,000
APPLICATION SUMMARY	<i>Applicants, on behalf of MSA Montrose LP, are requesting site plan and variance approval to redevelop the former Regal Cinema tenant space.</i>
INITIATED BY	Applicant
DECISION TYPE	<input type="checkbox"/> Informational <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action
CODE REFERENCES	Section 4.01-C-GR Commercial General Retail Section 13.01 F-Site Plan Review
GENERAL LOCATION	The parcel is in the Market Square at Montrose plaza on the south side of Brookwall Drive and east of Flight Memorial Drive.
LAND AREA	13 acres (Tenant Building 152' x 300')
ZONING	Commercial General Retail (C-GR)
ARCHITECTURAL REVIEW BOARD	January 5, 2026

BOARD OF ZONING APPEALS	January 14, 2026
EXTERNAL AGENCY REVIEW	Summit County Engineer Summit County Department of Sanitary Sewer Services Summit County Planning Summit Soil & Water Conservation District
STAFF COMMENTS	Redevelopment of single tenant building unit to 2 tenant building unit Variance Required: Front Yard Setback Brookwall Encroachment within an existing Dept. of Sanitary Sewer Easement-Agreement in progress Approval conditioned upon satisfying all jurisdictional agency requirements.

**PROPERTY LOCATION**

SITE	ZONING	LAND USE
North	C-GR	Commercial
South	High Density	Residential
East	C-GR	Commercial
West	C-GR	Commercial



## PROJECT DESCRIPTION

Applicants, Jacob Berger and Corey LeBlanc, on behalf of MSA Montrose LP, are requesting site plan and variance approval to redevelop the former Regal Cinema tenant space. The building area is 152' in length and 300' in width.

### Narrative: Per the Applicant

- Proposed scope of work is to include the partial demolition of approximately 10,000sf of the southernmost portion of the existing theatre space, and the front, West wall of the existing space.
- Temporary shoring to be provided for the existing structure to remain, until a retrofit system is installed. New construction of approximately a 12,000sf space, between the remaining theatre area and the existing World Market space to the South. This construction to be located in the location of the demolished 10,000sf portion of the space, with this new construction to protrude out further than the existing to align with the front façade of the existing building adjacent (World Market), and a further projection off the rear than the existing wall represented.
- The entire front façade of the building is to be expanded approximately 6' to the West, for an additional +/- 1,300sf of leasable space. This will all align with the existing World Market front façade as well.
- Plumbing, electrical, and fire protections services are to be split for two (2) separate commercial tenants.
- West site work is to include the building addition and modifications to the sidewalk and grass area, however no large scope site work to be proposed.

- East site work to include a portion of the 12,000sf new construction, new concrete loading pad, concrete egress ramp, and trash compactor.

The redevelopment will result in a two tenant spaces.

- Tenant B-24,294 square feet in overall area
- Tenant A-20,260 square feet in overall area

**Overall updates are inclusive of:**

- Full Interior Renovation
- New front masonry wall to match adjacent building
- New Tenant Entrances
- New sidewalk extension and crosswalks
- Addition of bicycle parking spaces
- Demo and reconstruction of partial Tenant suite A







## ELEVATIONS

Tenant A Façade Improvements include:

- Illuminated fiber cement clad panels (Nichina) in custom Burlington Red. Panel are 1' 6", 6' wide
- Autosliding doors clear, anodized aluminum
- Aluminum composite (alucobond) Eyebrow canopy with under canopy lighting
- EIFS in pearly white, wrapped column (EIFS above the water table)



**ENLARGED EXTERIOR ELEVATION - FRONT FACADE**  
1/4" = 1'-0"

**REGAL CINEMAS REDEMISE & RENOVATION**

4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN RENDERS | 12.5.2025

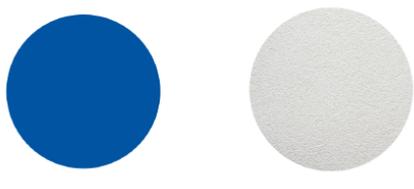
**Colliers Engineering & Design**

**Tenant B Façade Improvements include:**

- Painted flashing in intense blue
- EIFS exterior in extra white
- Stanley automatic door
- EIFS wrapped column (EIFS above the water table)

SIGNAGE, PARAPET, TRIM: ORACAL 7500 #009 INTENSE BLUE

EIFS WHITE; SW7006 EXTRA WHITE



SOMMER PARAPET TRIM ORACAL 1300 MIM INTERSE BLUE

EPS WHITE, DARTON EXTRA WHITE



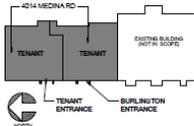
EXTERIOR ELEVATION - FRONT FACADE - TENANT B  
1/4" = 1'-0"



EXISTING PHOTO



3D View 3



## REGAL CINEMAS REDEMISE & RENOVATION

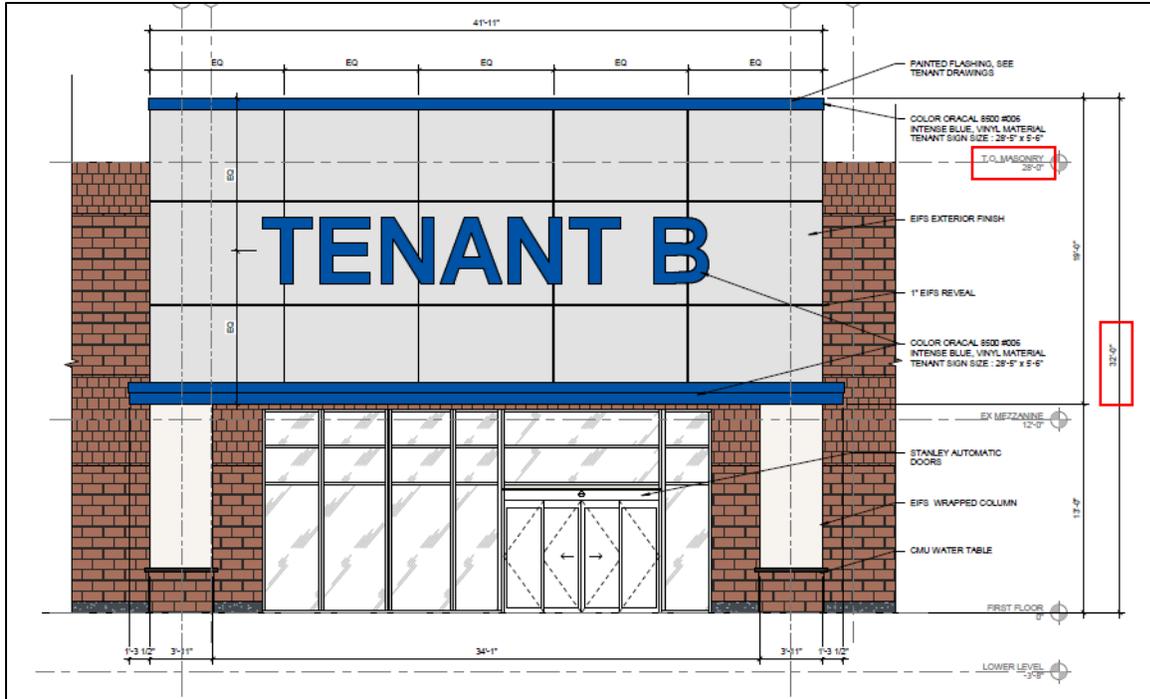
4014 MEDINA ROAD, AKRON OH 44321  
SCHEMATIC DESIGN RENDERS | 12.5.2025



### DEVELOPMENT STANDARDS-Variance Required

#### ARTICLE 4., SECTION 4.01

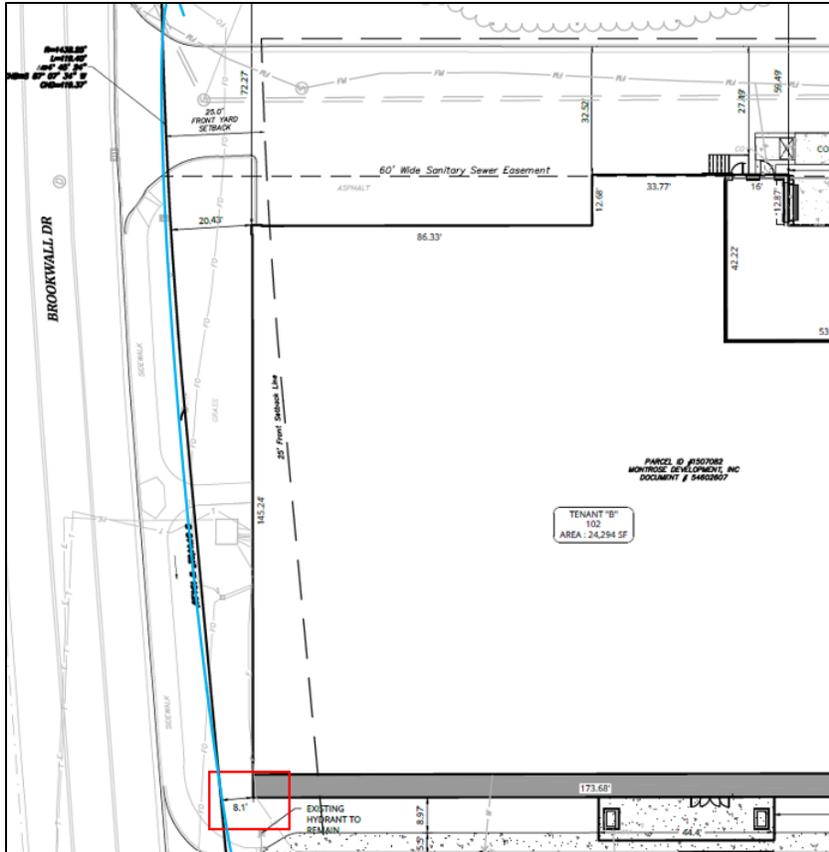
- 35' Maximum Building Height
  - Masonry Height: 28'
  - Parapet Wall: 32' for Tenant A & Tenant B



- 50' Minimum Rear Yard Setback (SOUTH)
  - 750' +
- 25' Minimum Side Yard Setback
  - WEST: 59'
  - EAST: 400' +
- 25' Minimum Front Yard Setback (NORTH)
  - 8.1' Non-conforming

**Variance Rationale:** The front yard setback is pre-existing and created due to the expanded right of way for the installation of Brookwall Drive. This variance will correct the non-conforming setback.

The cinema building was constructed in 1988. The 60' Brookwall right-of-way was established in or around 2000.



**ENCROACHMENT-Department of Sanitary Sewer Services**

There is a 60' easement located along the western side yard property line.

The following items will project into the easement:

- Rear building concrete ingress/egress (not public) for both tenant suites
- Concrete compactor pad
- Loading Dock



**DEPARTMENT & AGENCY COMMENTS**

<b>Copley Township Architectural Review Board</b>	Recommend approval of the applicants site plan inclusive of the necessary variance
<b>Copley Township Fire Department</b>	No objections (corrective action for lighting and parking lot improvements supported)
<b>Copley Township Service Department</b>	No objections (corrective action for lighting and parking lot improvements supported)
<b>Copley Township Police</b>	No objections (corrective action for lighting and parking lot improvements supported)
<b>Summit County Engineers Office</b>	Provide a comparison of existing and proposed impervious areas.  The overall increase in impervious area does not appear to be significant, so no stormwater detention will be required.  In addition to the impervious area increase, we will need to see the total disturbed area identified on the plans.
<b>Summit County Dept. of Sanitary Sewer Systems (DSSS)</b>	Access Easement Agreement required & in progress Verification of the easement width in question: 50' or 60'
<b>Summit County Planning</b>	No objection
<b>Summit County Soil &amp; Water Conservation District</b>	Provide a comparison of existing and proposed impervious areas.
<b>Copley Township Department of Community &amp; Economic Development</b>	Valued redevelopment to central business district  Property owner is in agreement to improvement of full parking lot and business center sign within the Market Square at Montrose Plaza.

**SUGGESTED MOTION FOR CONSIDERATION**

On January 5, 2026, the **Copley Township Architectural Review Board** motioned to recommend approval of the applicants Major Site Plan application inclusive of a reduction in the required front yard setback.

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The **Copley Township Board of Zoning Appeals** motions to (approval/approval with conditions/deny) the applicants variance for a 17' reduction in the required 25' front yard setback for a front yard setback resulting in 8' along Brookwall Drive.

Staff Comment: Conditioned upon agency review and approval