

SITE INFORMATION:

SITE LOCATION: CLEVELAND MASSILLON ROAD, COPLEY, OHIO
PARCELS: PARCEL ID AREA OWNER
1501214 52.2 AC COPLEY COMMUNITY IMPROVEMENT CORP.
1501945 1.0 AC COPLEY HOLDING LLC
1507374 2.6 AC SJL STONEGATE OH LLC

SITE AREA: 55.8 AC TOTAL PROJECT AREA
52.3 AC MULTI-FAMILY RESIDENTIAL
3.5 AC COMMERCIAL

PROPOSED UNITS:	205 TOTAL UNITS	PERCENT
9 WINDSOR	5%	
25 WINDSOR SUNROOM	12%	
85 CANTERBURY	41%	
20 PRAGUE	10%	
56 SANIBEL	27%	
10 BELIZE	5%	

PROPOSED BUILDINGS: 38 TOTAL
12 WINDSOR/CANTERBURY
10 WINDSOR/CANTERBURY/PRAGUE
10 SANIBEL
5 SANIBEL/BELIZE
1 MAINTENANCE GARAGE

PROPOSED DENSITY: 205+52.3=3.9 DWELLING UNITS PER AC
PROPOSED LINEAR FEET OF ACCESS AISLE: 6,704 LF (32.7 LF PER UNIT)
PROPOSED OPEN SPACE: 21.71 AC (41.52%) (CALCULATED CONSERVATIVELY)
PROPOSED GUEST PARKING: 40 SPACES
CURRENT ZONING DISTRICTS: C-O/R OFFICE/RETAIL COMMERCIAL DISTRICT AND
1 INDUSTRIAL DISTRICT

PROPOSED ZONING DISTRICT:
PC-MUCD PIGEON CREEK MIXED-USE COMPACT DEVELOPMENT DISTRICT

NOTES:
1. LAYOUT INFORMATION: 50' ACCESS EASEMENT, 22' WIDE PAVEMENT,
4' SIDEWALK (3' OFF EOP), 25' BUILDING SETBACK OFF EOP OR BACK OF SIDEWALK

LEGEND:

- 75' RIPARIAN SETBACK, PIGEON CREEK
- 30' CATEGORY 2 WETLAND SETBACK
- 50' CATEGORY 3 WETLAND SETBACK

PIGEON CREEK
FEMA FLOODWAY
100-YEAR FEMA FLOODPLAIN
500-YEAR FEMA FLOODPLAIN

DEVELOPER:
PRIDE ONE CONSTRUCTION
2211 MEDINA ROAD
SUITE 100
MEDINA, OHIO 44256
BEN WEINERMAN
330-241-3808

DESIGN ENGINEER:
DAVEY RESOURCE GROUP, INC.
1310 SHARON COPLEY ROAD
P.O. BOX 37
SHARON CENTER, OHIO 44274
TRAVIS G. CRANE, P.E.
330-590-8004

SUBMITTAL INDEX	
SUBMITTAL	DATE
1	02/05/2025



ZONING INFORMATION:

PC-MUCD PIGEON CREEK MIXED-USE COMPACT DEVELOPMENT DISTRICT (SECTION 4.08)	PER CODE	SHOWN
-MIN. PROJECT AREA:	20 AC	52.3 AC (MULTI-FAM. AREA)
-MAX. M-F ATTACHED DENSITY ALLOWED:	6 D.U./AC (313)	3.9 D.U./AC (205)
-MIN. BUILDING SETBACK FROM BOUNDARY:	40'	40'
-MIN. BUILDING SETBACK FROM EXISTING ROW:	40'	40'
-MIN. BLDG. SETBACK FROM PROPOSED ROW:	10'	10'
-MAX. BLDG. SETBACK FROM PROPOSED ROW:	35'	35'
-MIN. M-F TO M-F BUILDING SEPARATION:	25'	25'
-MIN. M-F TO NON-RESIDENTIAL BLDG.	40'	40'
-MAX. BUILDING HEIGHT:	35'	35'
-MAX. UNITS PER BUILDING:	8	9 (BLDG. 26)
-MIN. PARKING SETBACK FROM ANY ROW:	20'	20'
-MIN. PARKING, ROADWAY SB FROM MUCD BDY:	20'	20'
-SIDEWALKS AND/OR SHARED USE PATHS:	REQUIRED	SHOWN
-MIN. PARKING, MULTIFAMILY (ARTICLE 9):	2 PER UNIT	2 PER UNIT

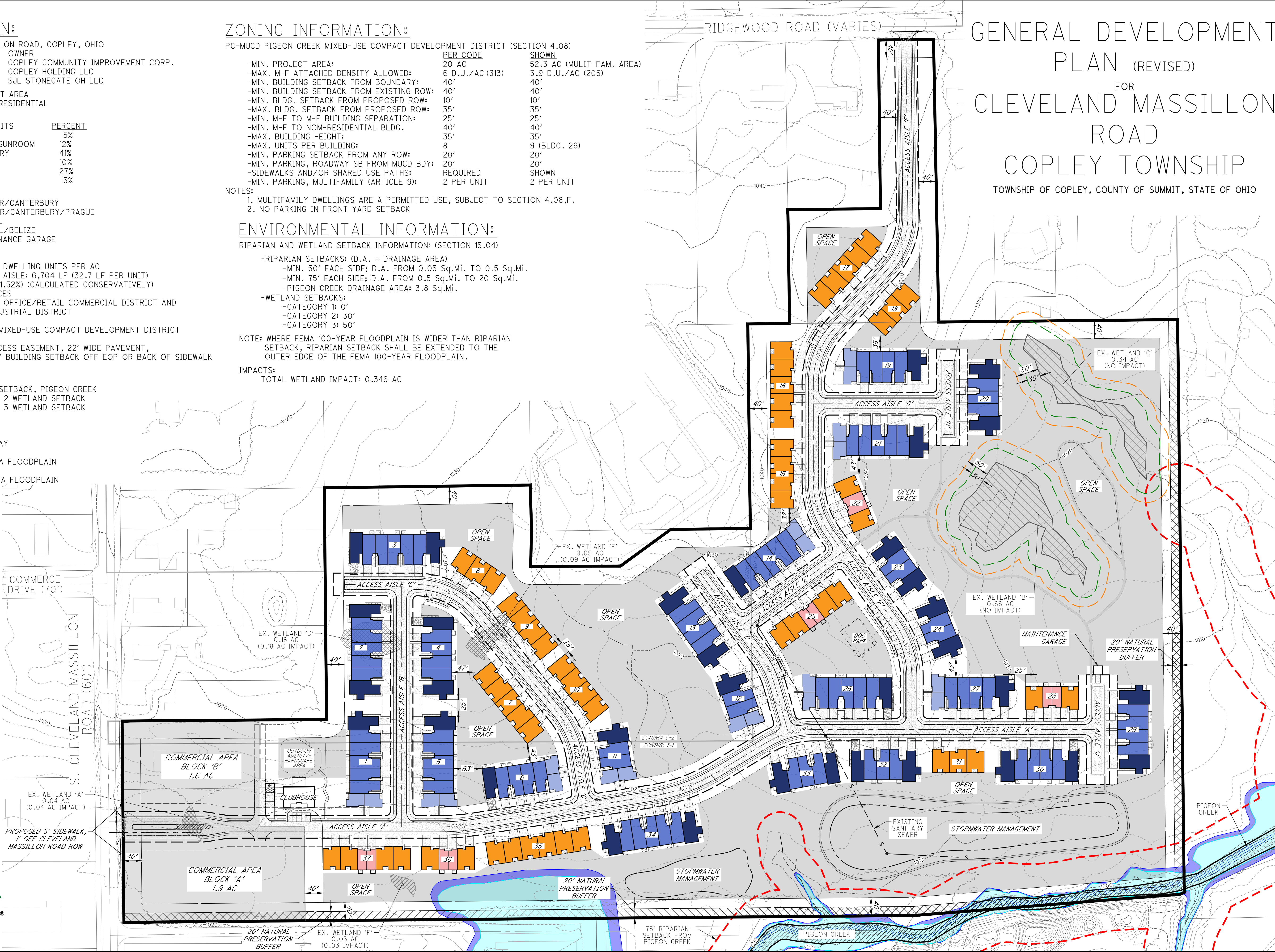
NOTES:
1. MULTIFAMILY DWELLINGS ARE A PERMITTED USE, SUBJECT TO SECTION 4.08.F.
2. NO PARKING IN FRONT YARD SETBACK

ENVIRONMENTAL INFORMATION:

- RIPIARIAN AND WETLAND SETBACK INFORMATION: (SECTION 15.04)
- RIPIARIAN SETBACKS: (D.A. = DRAINAGE AREA)
 - MIN. 50' EACH SIDE; D.A. FROM 0.05 Sq.Mi. TO 0.5 Sq.Mi.
 - MIN. 75' EACH SIDE; D.A. FROM 0.5 Sq.Mi. TO 20 Sq.Mi.
 - PIGEON CREEK DRAINAGE AREA: 3.8 Sq.Mi.
 - WETLAND SETBACKS:
 - CATEGORY 1: 0'
 - CATEGORY 2: 30'
 - CATEGORY 3: 50'

NOTE: WHERE FEMA 100-YEAR FLOODPLAIN IS WIDER THAN RIPARIAN SETBACK, RIPARIAN SETBACK SHALL BE EXTENDED TO THE OUTER EDGE OF THE FEMA 100-YEAR FLOODPLAIN.

IMPACTS:
TOTAL WETLAND IMPACT: 0.346 AC



GENERAL DEVELOPMENT
PLAN (REVISED)
FOR
CLEVELAND MASSILLON
ROAD
COPLEY TOWNSHIP
TOWNSHIP OF COPLEY, COUNTY OF SUMMIT, STATE OF OHIO